

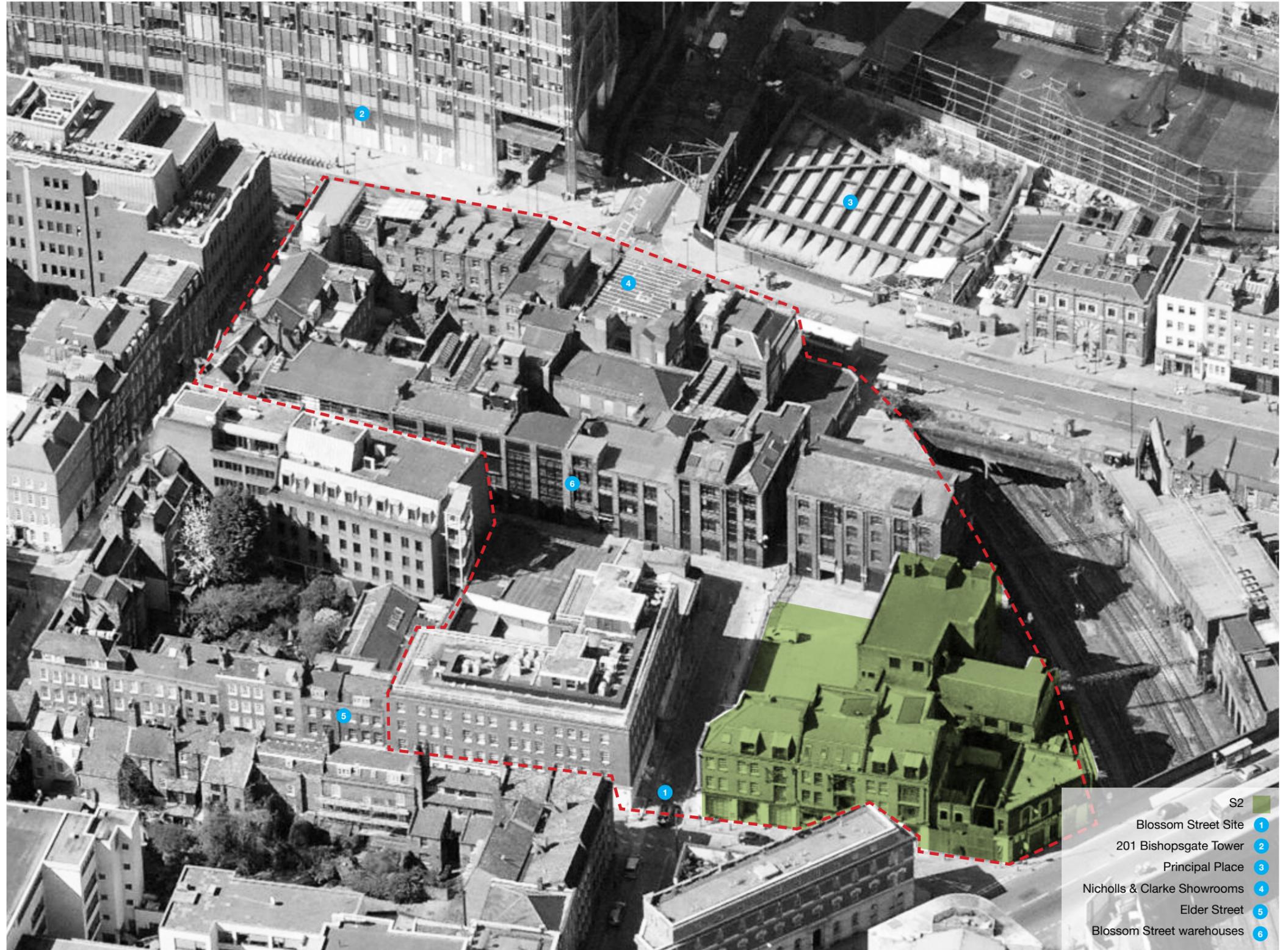
10.1	Introduction
10.2	Existing Buildings
10.3	Evolution of Design
10.4	Proposed Scheme
10.4.1	Land Use
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10.4.3	Layout - Floor Plans
10.4.4	Scale / Appearance
10.5	Inclusive Design
10.6	Landscape

10.0 Plot S2

10.1 Introduction

10.1.1 Location

Plot S2 is located to the North-East of the Blossom Street Masterplan. S2 is a Victorian /early 20th century commercial block partly fragmented due to the large open yard on Fleur De Lis Street. S2 bridges the residential scale buildings on Elder Street that form part of the Conservation Area with the taller buildings to the West and the proposed redevelopment of the Bishopsgate Goods yard to the North-East. No 4-8 Elder Street are locally listed buildings.



Aerial photograph looking West of the existing Site



10.1 Introduction

10.1.2 Constraints

S2 has lain partly unoccupied for several years, the condition of the buildings on Site have deteriorated and require immediate attention. Constraints are:

- Re-planning the buildings on Site to change their former industrial use to contemporary office use.
- Limited building frontage available for adaptive re-use. Stepping ground plane and location of rear extensions prevent access through the Site.

10.1.3 Opportunities

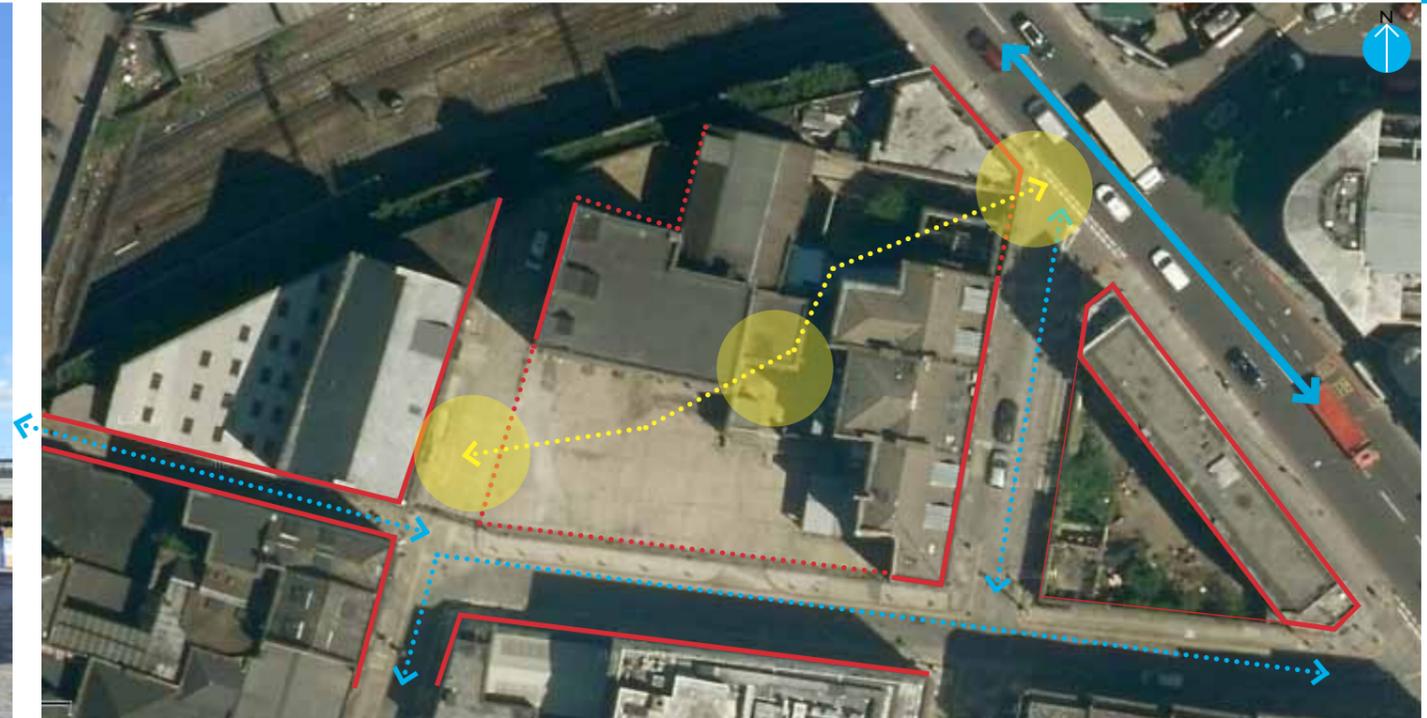
The character and identity of the Elder Street Conservation Area and the industrial nature of the Site gives Plot S2 a strong identity. Opportunities are:

Adapting the existing buildings for contemporary usage and enhancing key heritage features:

- Increase public connectivity through the Site to create a new public realm.
- Increase connectivity with Liverpool Street Station and Shoreditch High Street to the South; and connect Shoreditch High Street Overground Station via Commercial Street to the East.
- Create new active frontages and reinforce the urban block.



Existing condition - East



Aerial view showing S2



Existing condition - South



Existing Condition - North

- Key**
- Existing frontage
 - Fragmented edge
 - Pedestrian flow
 - Main Road
 - Potential access / Public space

10.0 Plot S2

10.2 Existing Buildings

10.2.1 Existing Site

Plot S2 lies outside the Scheduled Ancient Monument. There are no Listed buildings on the Site. However the Elder Street warehouses are Locally Listed.

1. 1927 Warehouse and Stables

Part of the Nicholls and Clarke enterprise. A utilitarian back of house warehouse. It is a steel frame, yellow and blue engineering brick building with concrete lintels and exposed party walls in red brick.

2. No 4 - 8 Elder Street Warehouse

Part of a group of 19th century Victorian warehouse buildings. They have a distinct raised ground floor level consistent with the rest of Elder Street. The facade is a yellow masonry with white stucco added later at ground level. No 4-8 Elder Street are locally listed buildings.

3. No. 2 Elder Street

A mid 19th century townhouse currently in ruined condition without floors or a roof. Built in yellow masonry.

4. Passageway and Yard

A historic link from Elder Street to the stables and 1927 warehouse on Blossom Street - formerly a service route with access to the yard.

5. No 161 Commercial Street

A 19th century building, of yellow masonry with stucco at ground floor which is in ruinous condition.

6. Yard

A large gap Site on Fleur De Lis Street - It has lain undeveloped for a number of years having previously contained a four to five storey building.

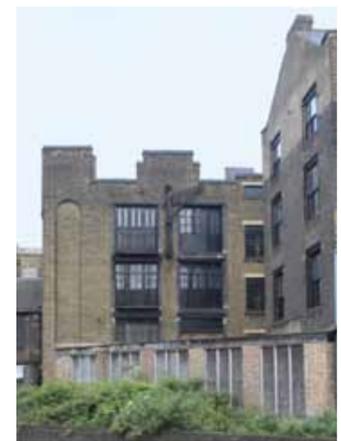


Existing Site Plan

Site Boundary - - -
Scheduled Ancient Monument - - -



Existing Building Key



1. 1927 Warehouse



1. 1927 Warehouse stables



2. Elder Street Warehouses (No 4-8)



2. Elder Street rear elevation (No 6)



4. Passageway



3. No 2 Elder Street and Passageway Entrance



5. 161 Commercial Street



6. Yard Photo

10.0 Plot S2

10.2 Existing Buildings

10.2.2 Site Evolution

Plot S2 lies to the North of the SAM, originally lying in open fields beyond the mid 13th century Priory Hospital.

Plot S2 was later developed in the 17th century as housing as part of the former St. John and Tillard Estate, although no housing remains. The area became inhabited by Weavers, largely exiled Huguenots from France, at this time.

By the mid 19th century, Commercial Street was introduced, a diagonal Victorian road improvement, which cut across the rectilinear urban block and gridded streetscape forming the triangulation of the North end of the Site.

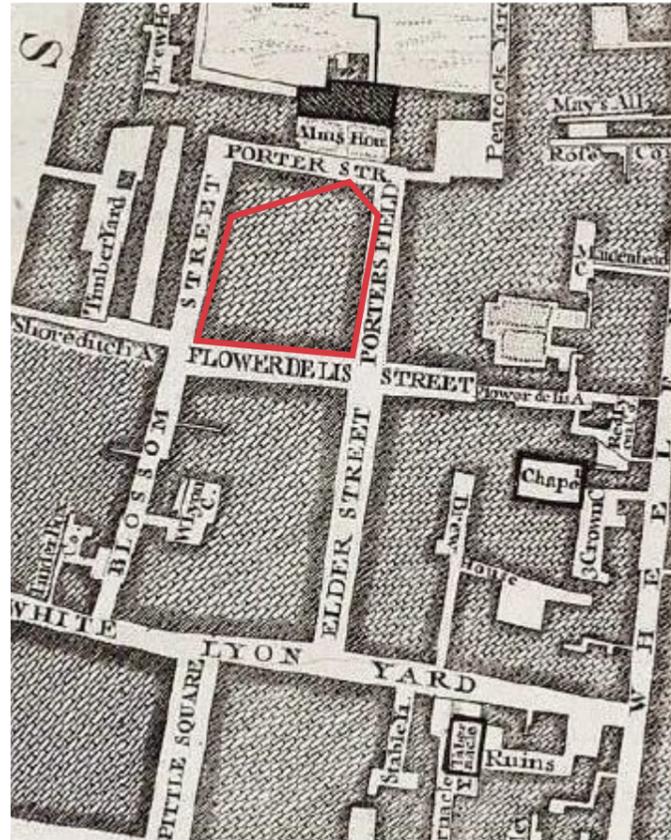
No 161 Commercial Street is understood to be a part of the Victorian road redevelopment.

The introduction of the railway cutting to the North also reshaped the urban block. A passage outside the Northern perimeter of the Site provided access to Bishopsgate Station. The passage remains today, although the station is now gone, and provides track maintenance access to the railway.

The introduction of Commercial Street and the railway opened up the area to increased commercialisation, although much of the Georgian housing remained on Elder Street, S2 was cleared and became characterised by 19th century Victorian industrial warehouses as part of the Nicholls and Clarke enterprise, and the remaining textiles industries.

The 1927 Nicholls and Clarke warehouse remains on Blossom Street today opposite to the 1887 Nicholls and Clarke warehouse on SIC.

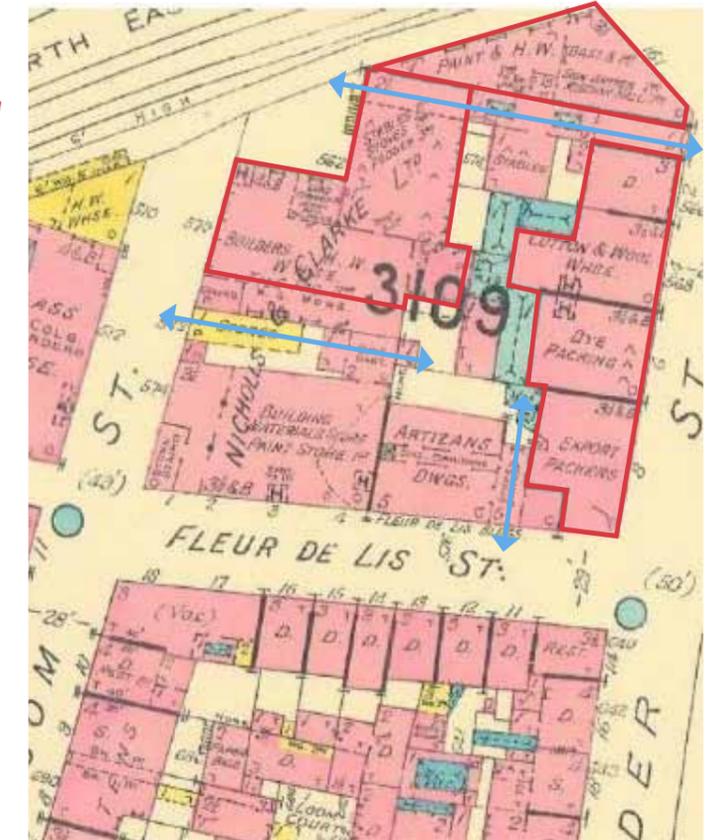
Nos 4-8 Elder Street also remain and contained a former Cotton and Wool and Dye packing warehouse.



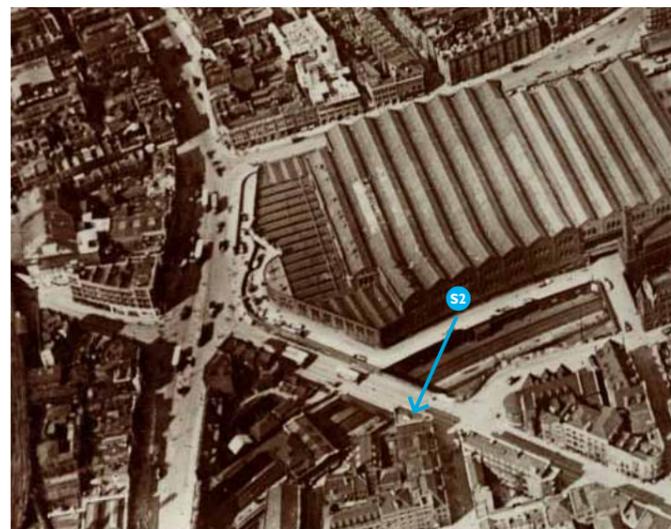
1792 - (Horwood's Map of London) showing extent of S2 Site



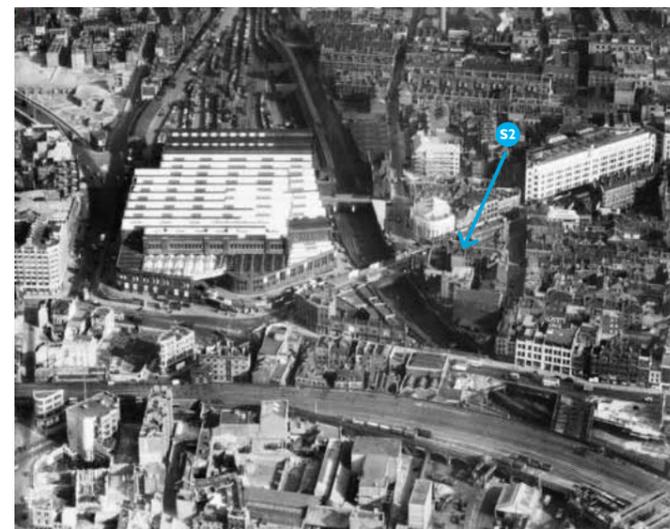
1890 (Goad Insurance Map) showing extent of S2 Site



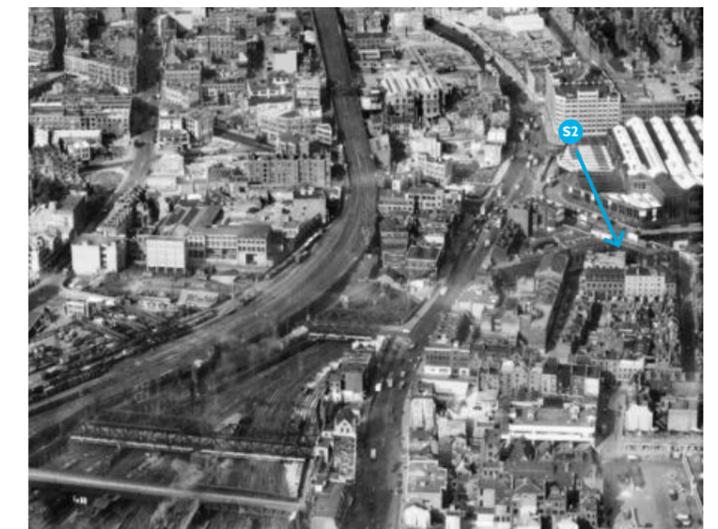
1944 (Goad Insurance Map) showing remaining buildings, passages and yards



1930 - Aerial view looking North showing S2 relating to Commercial Street



1947 - Aerial view looking East showing S2 and environs, Shoreditch



1947 - Aerial view looking North showing S2 and environs, Shoreditch



10.2.3 Historic Photographs



1. 1971 - No 8 Elder Street showing original brick piers



2. 1971 - No 8 Elder Street showing roofscape



3. Circa 1980's view looking down Elder Street from Commercial Street junction

10.2 Existing Buildings

10.2.4 Analysis of No 4 - 8 Elder Street Warehouses

The block is a coherent group of three independent mid Victorian warehouse buildings, with interesting loading bay and lifting crane features. The buildings are in a reasonable state of repair and are currently in use as offices. The buildings have been subject to alterations over the years. The rear facade steps and contains a number of rear ground floor extensions. The ground floor is half a metre above finished ground level. The roof is understood to have been modified over the years.

No 4

- The building has a 'blind' rear facade with no windows.
- It has been altered at ground floor with rear extensions.

No 6

- The building has also has a rear ground floor extension.
- The rear has an attractive facade with existing windows above ground floor.
- The front has flat modern 'velux' type rooflights that detract from the rhythm of the dormers to No 4 & 8.

No 8

- The building has a narrow flank end elevation and an unattractive exposed party wall onto Fleur De Lis Street.
- The rear elevation is set back creating a narrow floor plate internally.
- It has an unsightly plant equipment terrace at second floor.

Overall the buildings are in good condition, have a high historic value and are intended for refurbishment and re-use.



No 8 - Narrow flank end elevation



Roofscape showing dormers and 'Velux' windows



Stepping rear elevation



No 8 - Exposed party wall end elevation



No 6 - Loading bay doors and crane features



10.2.5 Analysis of No2 Elder Street

A mid 19th century house later used as a shop and warehouse. The building is in a ruinous condition and has the following issues:

- The walls are unstable having lost the entire interior finishes, floors and roof to the building
- The building is open to the elements and in danger of further delapidation due to weathering
- The chimney is leaning and unstable
- Very little remains of architectural value

It is intended to replace this building and create a more generous entrance way to the Site.

Passageway

Fomerly an Eastern entrance to the 1927 Nicholls and Clarke warehouse on Blossom Street. It was formerly a covered route although the canopy has been lost due to a fire.

- Passageway is very narrow
- Canopy lost

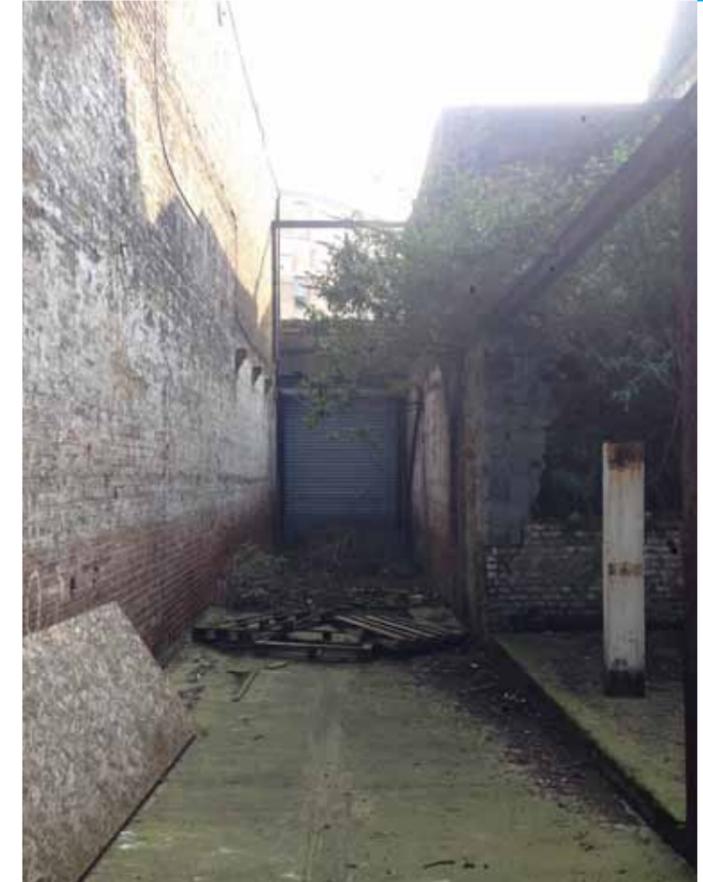
It is intended to re-interpret this passageway in a contemporary manner, remove what is left of the entrance and integrate a more generous entrance to the Site, into the modern block.



Passageway - Entrance remains



No 2 Elder Street - Rear view showing shell condition



Passageway - View looking towards Elder Street



No 2 Elder Street - Remains viewed from Commercial Street showing chimney

10.2 Existing Buildings

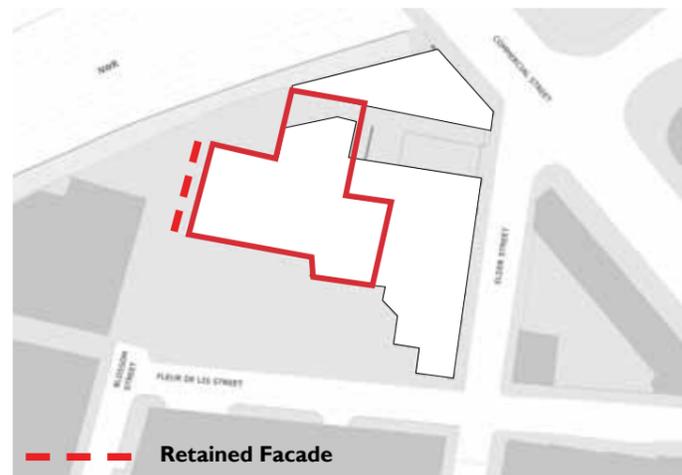
10.2.6 Analysis of 1927 Warehouse and stables

The form of the building has altered over the years. The warehouse is understood to be late Victorian / early 20th century. The loading bay may be the remains of an older building, since demolished, but is now attached to the later warehouse. The warehouse frontage is on Blossom Street and forms part of the streetscape. It relates well to the 1887 warehouse opposite. The side elevation is an exposed party wall.

The warehouse building is in a reasonable condition but retaining the plan of the building is not considered viable for re-use as office accommodation due to the following reasons:

- A narrow plan to the 1927 warehouse which creates functionality issues when re-interpreted from storage to office use
- Inefficient column spacing and tight structural grid which cannot be easily reconciled with modern office use
- Low floor to ceiling heights
- Deep steel structural floor beams which make running services through them difficult and complicated
- Stepping floor levels to the neighbouring loading bay which cannot be easily overcome without the need for significant ramping and lift cores to gain Part-M compliance and a fully accessible workspace.

It is intended to retain the facade of the warehouse which contributes to the appearance of Blossom Street, whilst replacing the main body of the warehouse and loading bay buildings.



View from Shoreditch High Street bridge



1927 Warehouse showing exposed party wall elevation



1927 Plaque above the stairwell entrance



1927 Warehouse interior showing narrow plan and column grid.



Stables which have been converted at ground.



10.2.7 Analysis of 161 Commercial Street

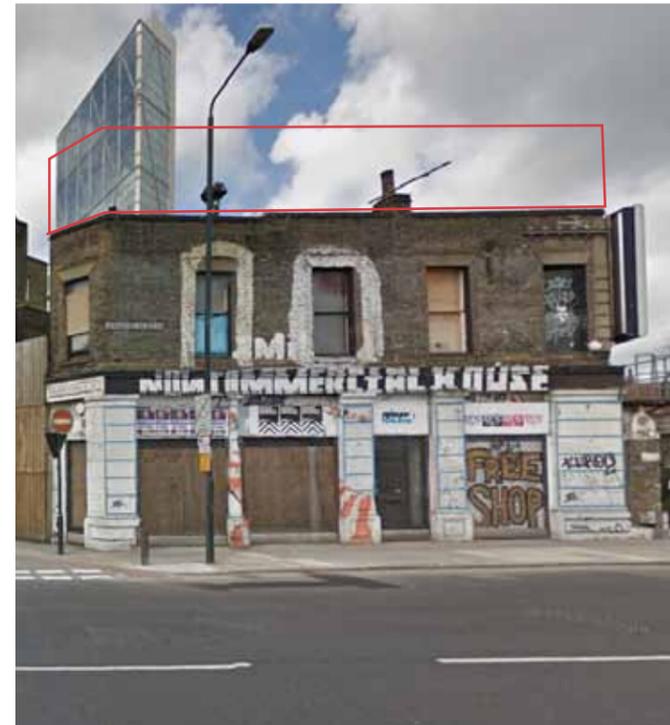
This mid 19th century building relates to the original laying out of Commercial Street. It was formerly a dining rooms. The building is now in a severely delapidated condition.

- The building was formerly three storeys, having lost a storey over the years.
- The facade is in poor condition requiring immediate remedial work.
- Internal structure of the building is in danger of collapse due to severe water ingress.
- The building has a shallow triangular plan that is difficult to re-use.
- It has a historic route to the Northern perimeter of the Site that used to connect to Blossom Street and the railway station, now used for track maintenance.
- The North elevation of the building and Site generally has been fragmented by the impact of the railway to the North on the urban block.

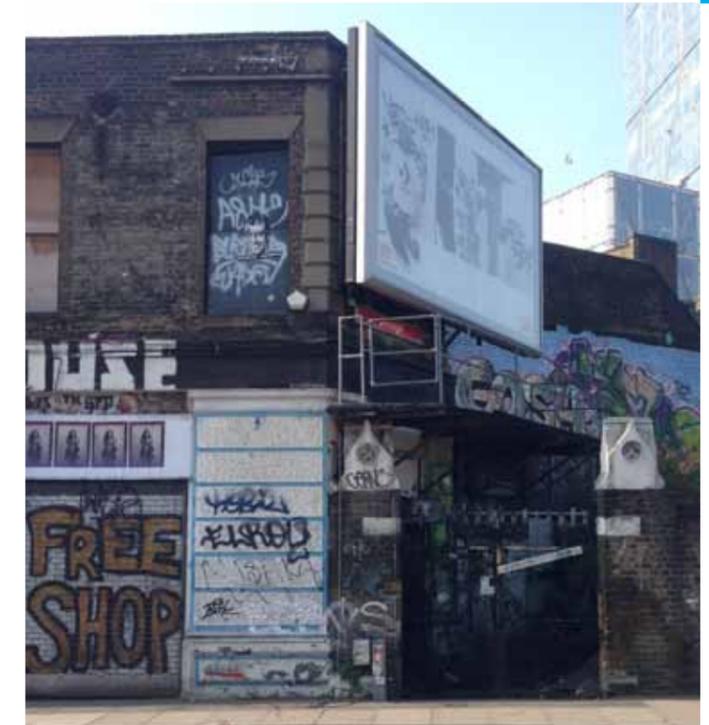
It is intended to retain and restore the Victorian facade and shopfront of this building and integrate it into new development, as it is deemed to have historic value in relating to the origin of the Victorian road conversion.



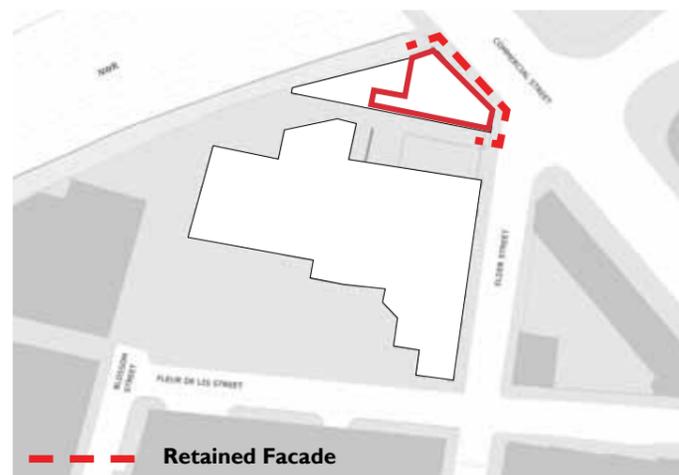
1940's image showing 161 Commercial Street third storey



161 Commercial Street showing former third storey



161 Commercial Street showing entrance to railway passageway



Fragmented Northern edge of the Site

10.0 Plot S2

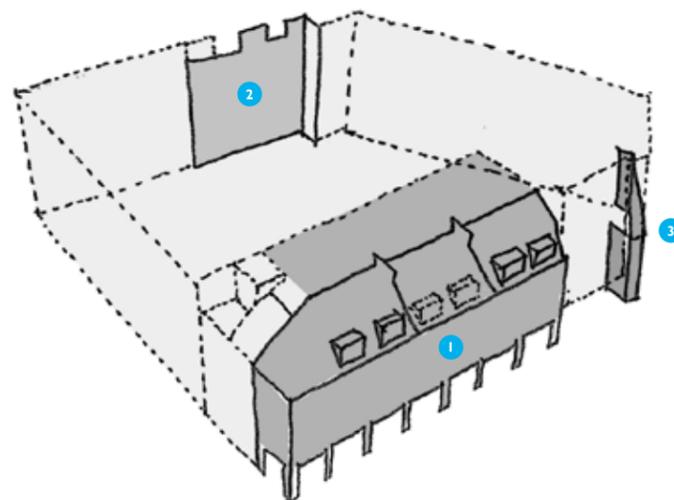
10.3 Evolution of Design

10.3.1 Overview

One of the scheme challenges, has been the design approach to retention of the historic elements within the new development. There has been a clear and open debate with LBTH, EH and Local Community Groups throughout; which has informed the following scheme key moves:

1. Proposed refurbishment of No. 4-8 Elder Street
2. Proposed facade retention of 1927 Warehouse
3. Proposed facade retention of 161 Commercial Street

The following sections describe the main proposals, specific to each building, over the course of the design evolution and note the key consultation responses.



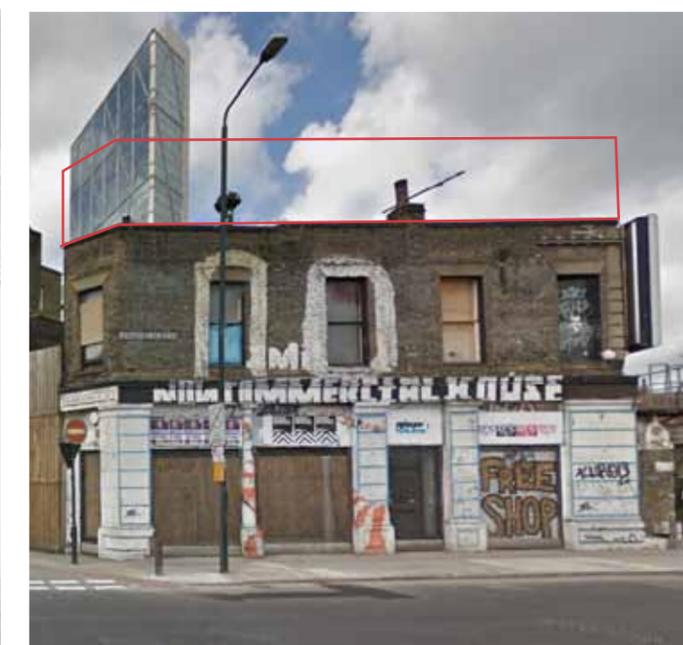
Retention Scheme retaining 4-8 Elder Street buildings and 1927 Warehouse & 161 Commercial Street frontages



1. No 4-8 Elder Street Warehouses



2. 1927 Warehouse frontage



3. 161 Commercial Street frontage



10.3.2 No 4 - 8 Elder Street Warehouses

1. Contemporary Roof Storey	2. Contemporary 'Mansard' Roof Storey	3. Original Roof Retained - Additional Dormers
<ul style="list-style-type: none"> A new contemporary roof replacing the mansard roof to connect the new development to the existing warehouses 	<ul style="list-style-type: none"> A new contemporary 'mansard' roof replacing the original roof to connect the new development to the existing warehouses 	<ul style="list-style-type: none"> Incorporate additional dormers within the original roof to improve the rhythm and continuity of the facade
<p>Comments</p>	<p>Comments</p>	<p>Comments</p>
<ul style="list-style-type: none"> Preference was to retain the traditional roof form 	<ul style="list-style-type: none"> Preference was to retain the original roof form 	<ul style="list-style-type: none"> Considered to be an appropriate approach
<p>1. Contemporary roof replacement</p>	<p>2. Contemporary 'mansard' roof replacement</p>	<p>3. Retained roof with 2 additional dormers to No 6</p>

10.0 Plot S2

10.3 Evolution of Design

10.3.3 1927 Warehouse

1. Embedded Facade	2. 'Released' Facade	3. Contemporary Loading Doors	4. Original Loading Doors
<ul style="list-style-type: none"> Embed and frame the 1927 warehouse facade into the new development form 	<ul style="list-style-type: none"> 'Release' the retained frontage at the Northern corner and set new development back Release the parapet level Restore the original loading doors and replace the lower doors to match Build up the lower roof parapet to match existing and relate to new development 	<p>To gain more light into the building through the warehouse facade, a proposal was considered to replace the original restored doors, with a contemporary version</p>	<ul style="list-style-type: none"> Restore the original loading doors Setback the floor plates and create an internal lightwell and skylight to gain more light into the building New floor plates not visible
Comments	Comments	Comments	Comments
<ul style="list-style-type: none"> Preference was for the 1927 warehouse facade to be expressed as a more distinct element separate from the new development 	<ul style="list-style-type: none"> Considered an appropriate approach 	<ul style="list-style-type: none"> Original doors were considered to have the most historic interest within the facade Preference was for new floor plates to be set back from the facade and not expressed on the historic elevation 	<ul style="list-style-type: none"> Considered to be an approved approach



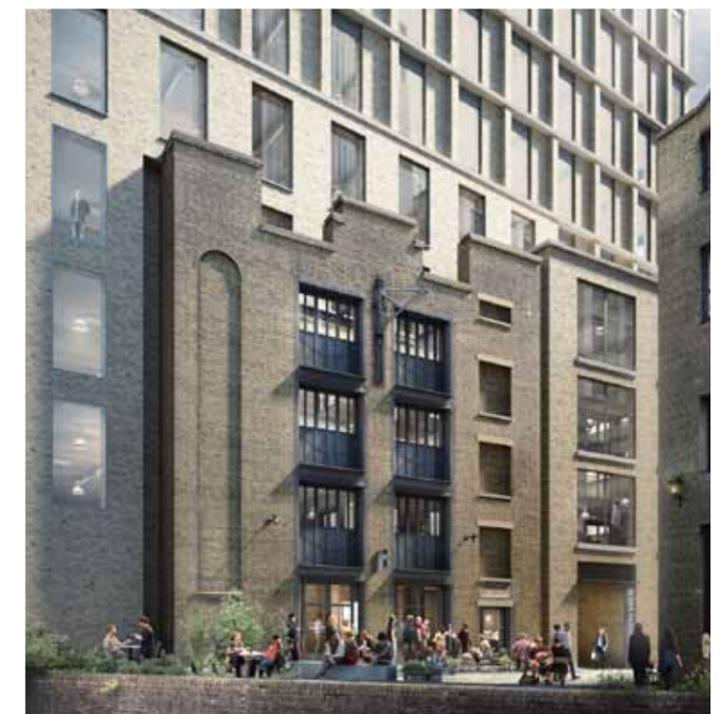
1. 'Embedded' facade



2. 'Released' facade



3. Contemporary loading doors

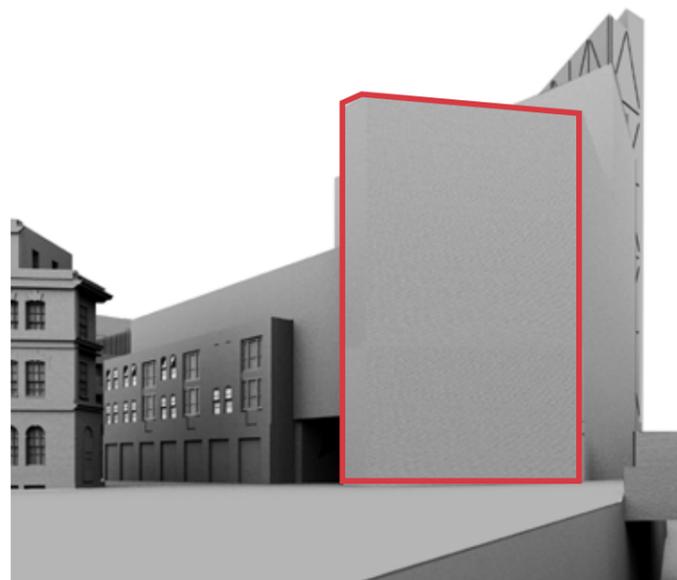


4. Original loading doors

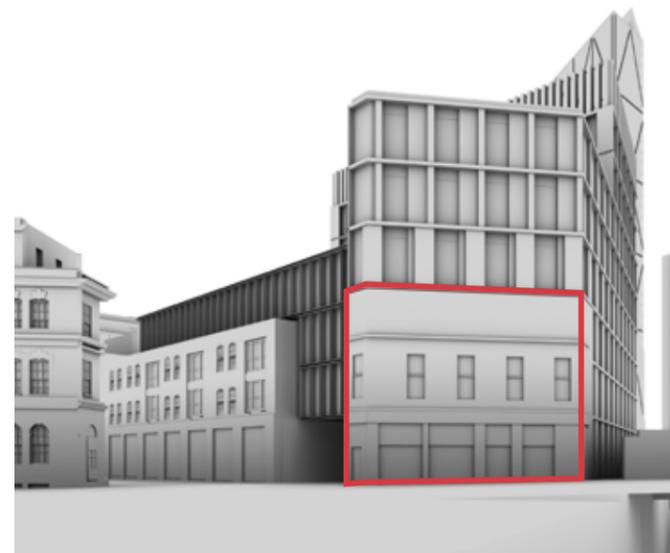


10.3.4 161 Commercial Street

1. New Corner Building	2. Retention of 161 Commercial Street Facade	3. Five Storey Building
<ul style="list-style-type: none"> A six storey massing replacing 161 Commercial Street Emphasise the corner Mediate between the taller massing behind and the street scape 	<ul style="list-style-type: none"> A six storey building retaining 161 Commercial Street into the building form Restoring the 'lost' third storey as a blind elevation to restore the historic datum 	<ul style="list-style-type: none"> Reducing the height of the building to five storeys
Comments	Comments	Comments
<ul style="list-style-type: none"> 161 Commercial Street was considered to be of historic interest and retention was suggested 	<ul style="list-style-type: none"> The retention of 161 was deemed to be a positive addition to the scheme The massing was considered to be too high 	<ul style="list-style-type: none"> The height and form was considered to be acceptable



1. New corner building



2. Retention of 161 Commercial Street facade



3. Five storey building

10.0 Plot S2

10.4 Proposed Scheme

Concept

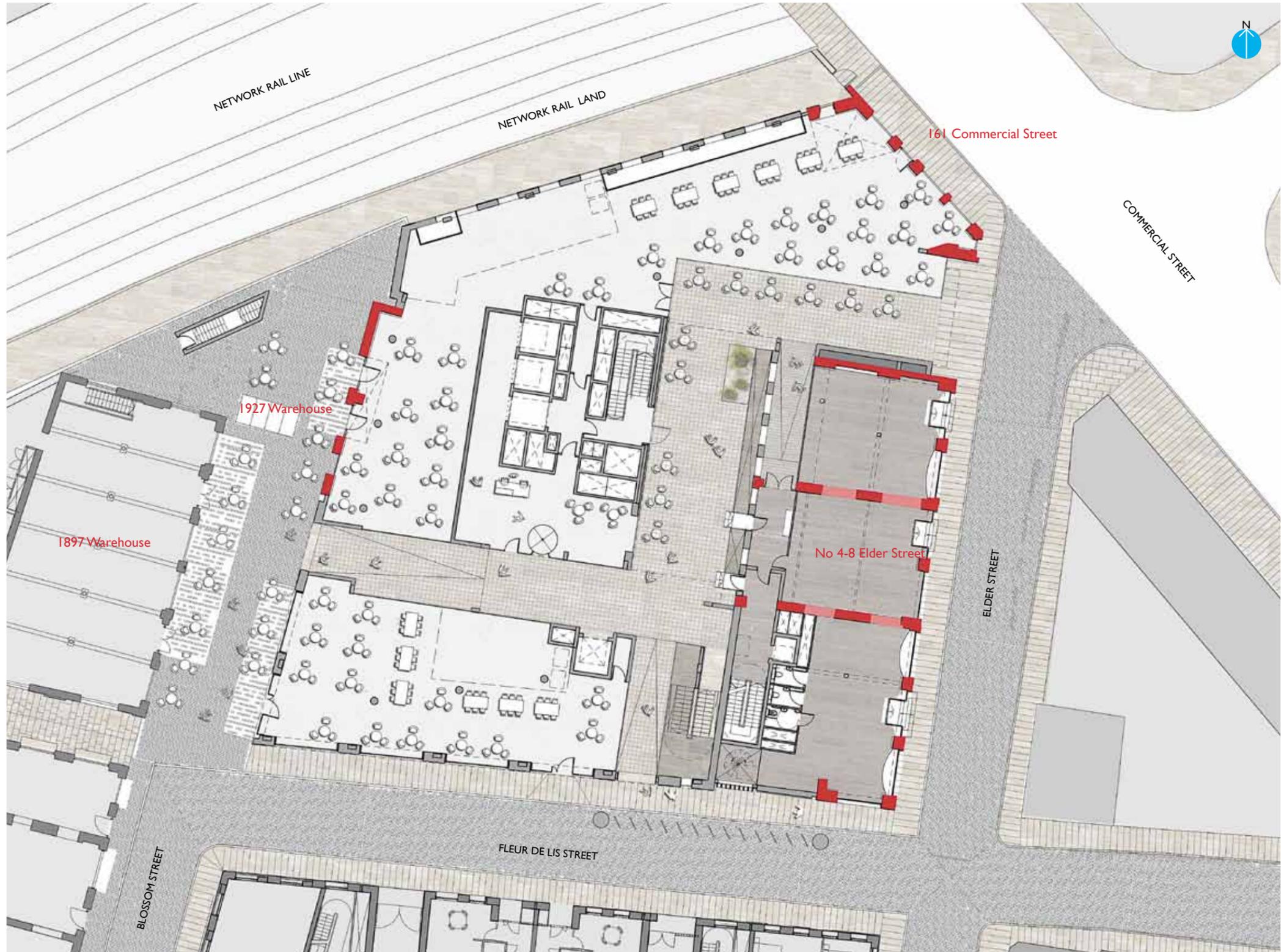
Retention Scheme

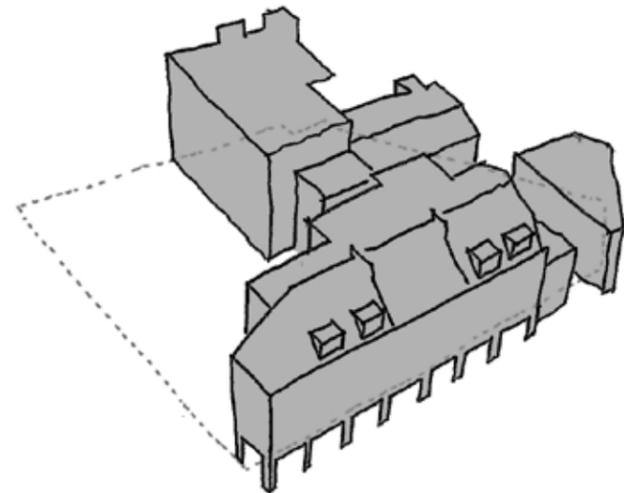
The scheme focuses on the continued re-use and refurbishment of the locally listed Elder Street warehouses, alongside the preservation and enhancement of the 1927 warehouse facades and of 161 Commercial Street facade. A four storey development on the gap Site at Blossom Street aims to consolidate the urban block and repair the streetscape.

An additional upper volume is located to the periphery of the Site, set back from the four storey streetscape, relating to the wider relationship with the taller buildings in the City.

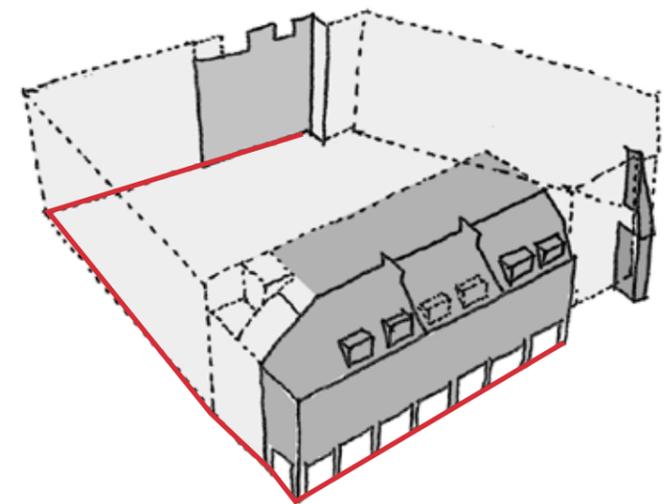
A new public yard is proposed and passageways are re-introduced through the Site to connect Commercial Street to Blossom Street.

The final scheme ensures the retention and restoration of all the key streetscape aspects to S2.

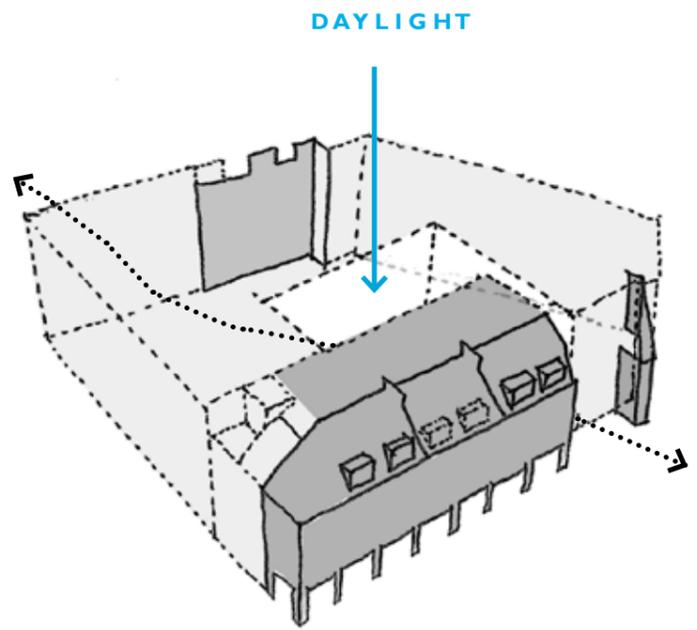




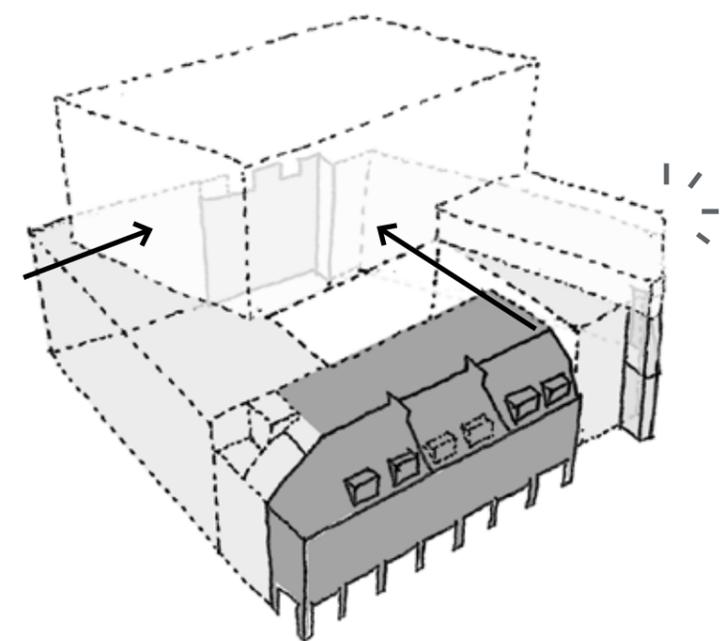
1. Existing buildings



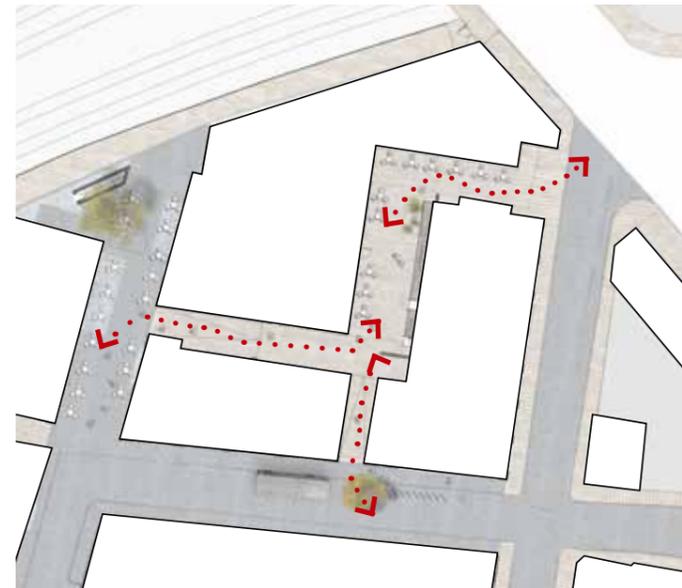
2. Heritage retention & new infill to repair streetscape



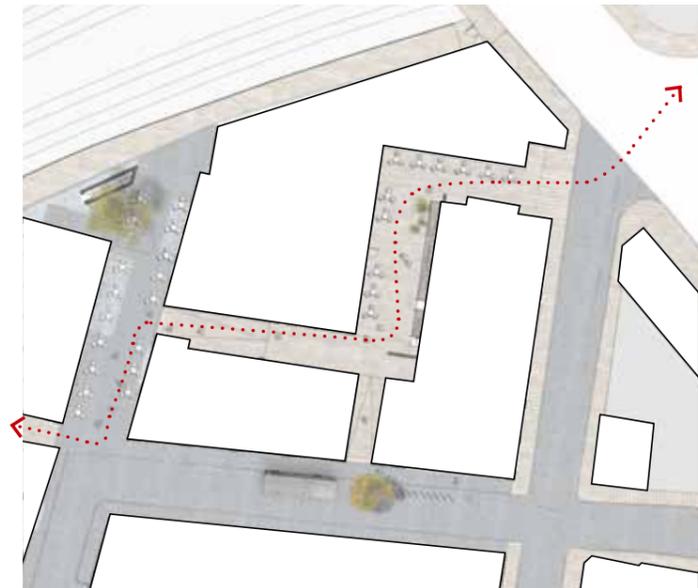
3. Cut Central yard and form route through



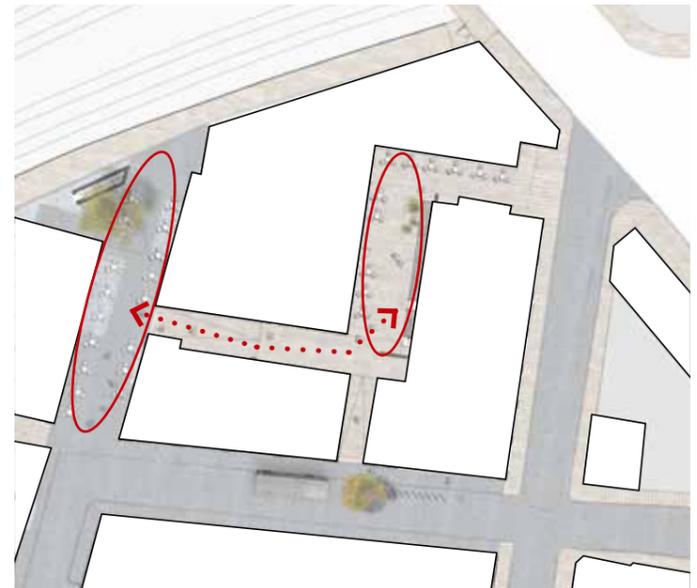
4. Set back upper volume and register corner block



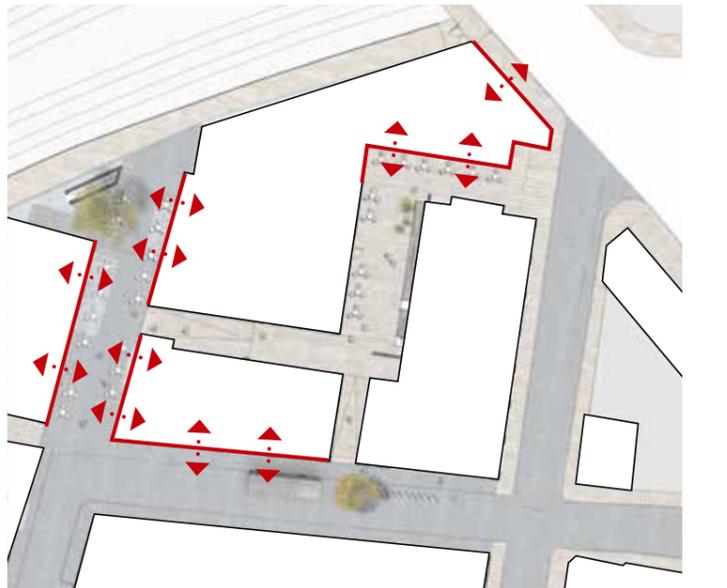
Stitch new courtyard into the public realm



Encourage wider routes and connect to Bishopsgate Goods Yard



Capture new public spaces



Activate frontages and open space with ground level catering

10.4 Proposed Scheme

Design Approach Overview

A key historic and local reference is Spitalfields original market building in which the original architecture has a strong horizontal emphasis in its deep cornice detailing. We see this as an important contrast to the verticality of the adjacent warehouse buildings within the new development.

Key Design Principles

Depth of Proposed Façades

Ensuring depth is expressed in the proposed building façades to refer to the loadbearing construction of Victorian building facades on Site.

Robust 'As Found' Materiality

Developing a robust brick and concrete materiality found in the Conservation Area to be consistent with the materiality of the Victorian buildings on Site.

Responding To The Existing Grain

Ensuring there is a clear narrative regarding contemporary intervention into the historic environment.

Restoring the Base

Revealing hidden layers to enhance the original form of the historic context, such as removing the stucco and restoring the historic brick base to Elder Street.

Enhancing The Form Of The Urban Block

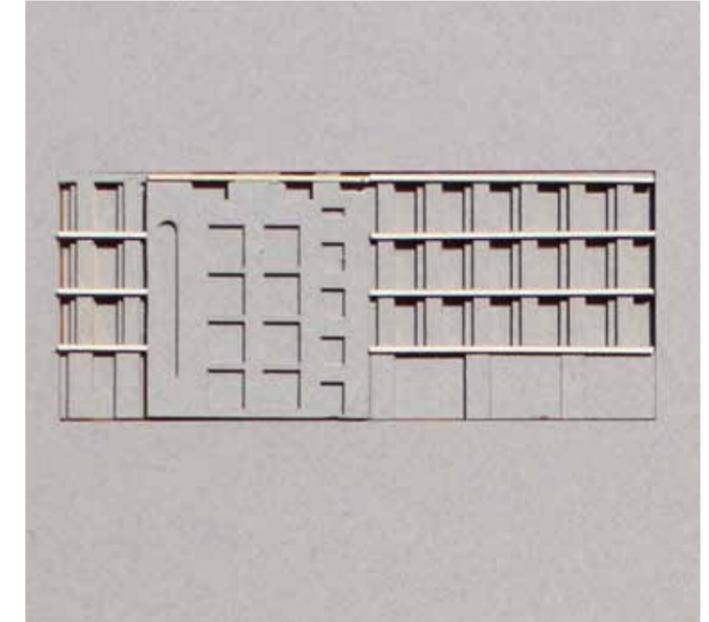
Developing a composition which engages with the existing buildings and unites the urban block.



Spitalfields Market, 1887 - showing horizontal corning



De Loodsen Office, WINHOV Amsterdam



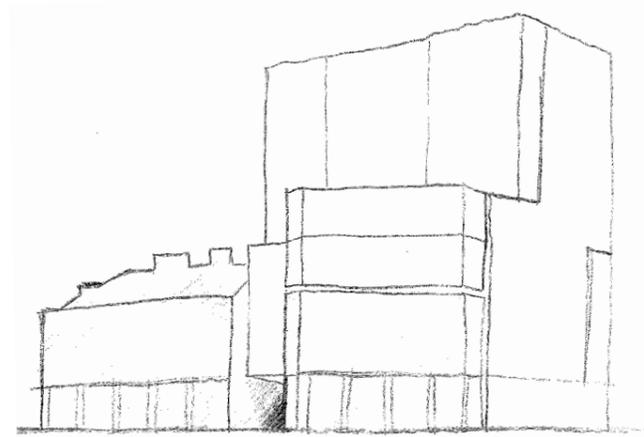
Facade concept model exploring depth and horizontality



1927 warehouse vertical emphasis of loading bay openings



Early composition studies with retained warehouse frontage



Sketch showing interaction of old and new elements



New form relating to existing, Kings Cross, Central Saint Martins



Refurbishment of existing whilst retaining historic character



Existing Elder Street Warehouses showing original brick piers



Development model showing composition of old and new

10.0 Plot S2

10.4 Proposed Scheme

Heritage Overview

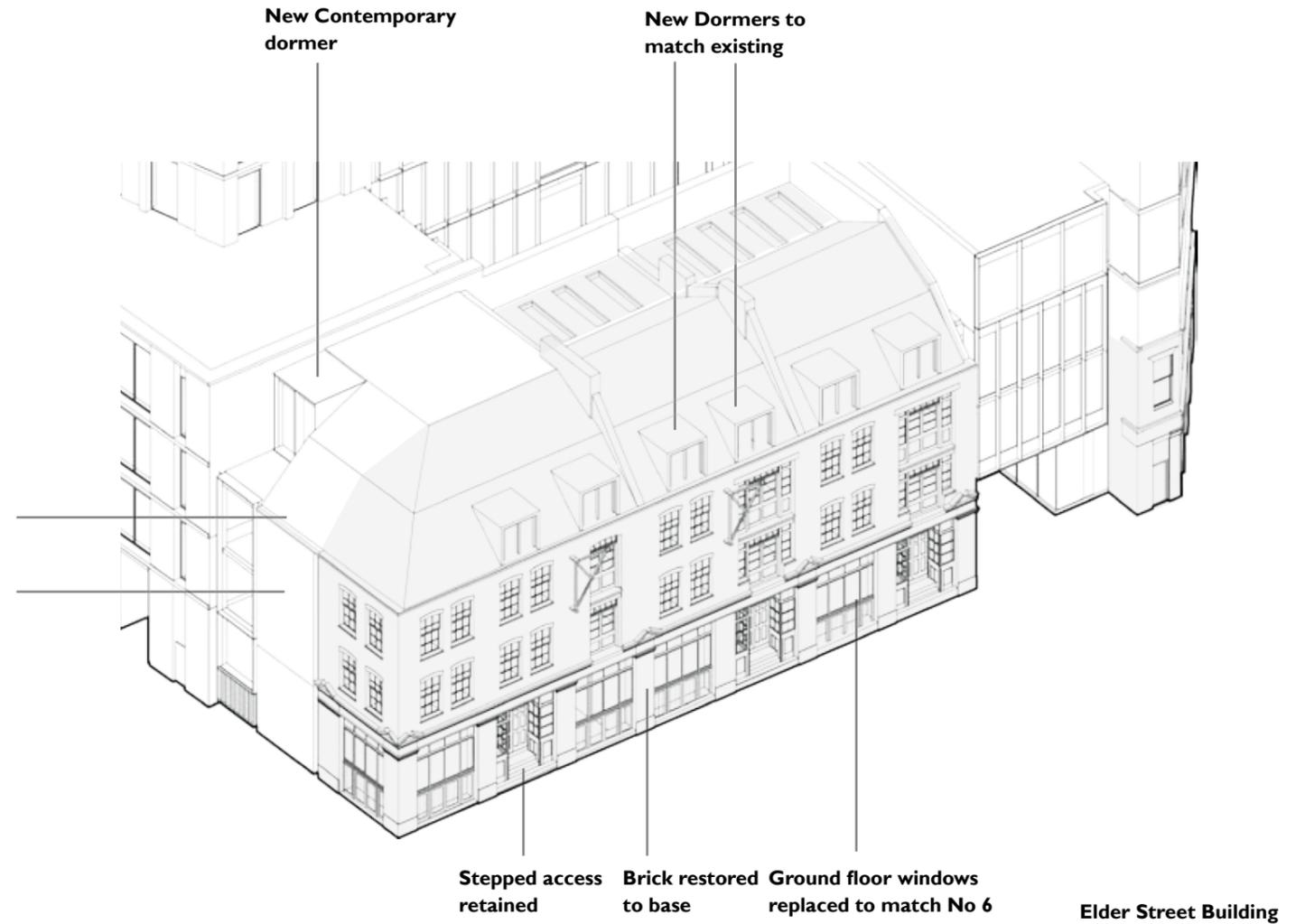
The following pages further describe the key interventions relating to the historic fabric for No 4-8 Elder Street, 1927 warehouse and 161 Commercial Street.

No 4-8 Elder Street

- Retaining and enhancing the locally listed No 4-8 Elder Street warehouses on the Site, restoring the building's exterior features, such as removing the stucco at base level and returning this to the original brickwork.
- Consolidating and repairing the unattractive flank end of No 8 Elder Street.
- Enhancing the roofscape by replacing the unattractive 'velux' type windows with additional dormers in line with the rhythm and proportion of the elevation.
- Providing Part-M compliant access to the raised ground floor at the rear of the building to retain the clarity of the stepped front entrance.
- Open up the rear courtyard and provide separation to the new development.



1. 1971 - No 8 Elder Street showing original brick piers



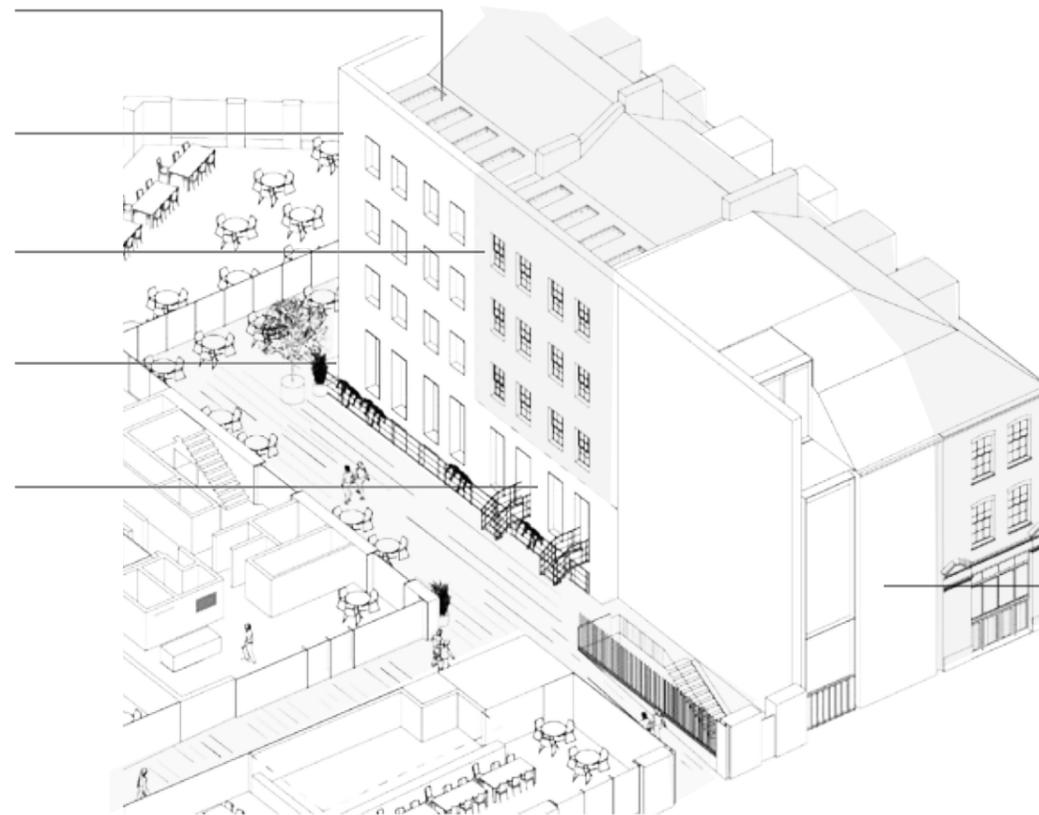
New Rooflights to rear

Realign and open blind facade of No 4

Retain rear elevation to No 6

Create ramped accessible rear entry

Remove ground floor extensions and create new entry to No. 6



Elder Street proposed courtyard

Extension to No 8 containing new access core



1927 Warehouse and Blossom Street

- Repairing and retaining the façade of the 1927 warehouse to maintain the streetscape of Blossom Street.
- Consolidating the four storey streetscape and scale of the existing warehouse by infilling the gap Site on Blossom Street / Fleur De Lis Street to create a more coherent streetscape respecting the four storey key height and enhancing the mid-19th century vista along Blossom Street.



Flattened image of 1927 warehouse facade

Build up parapet to match existing and relate to adjacent new development

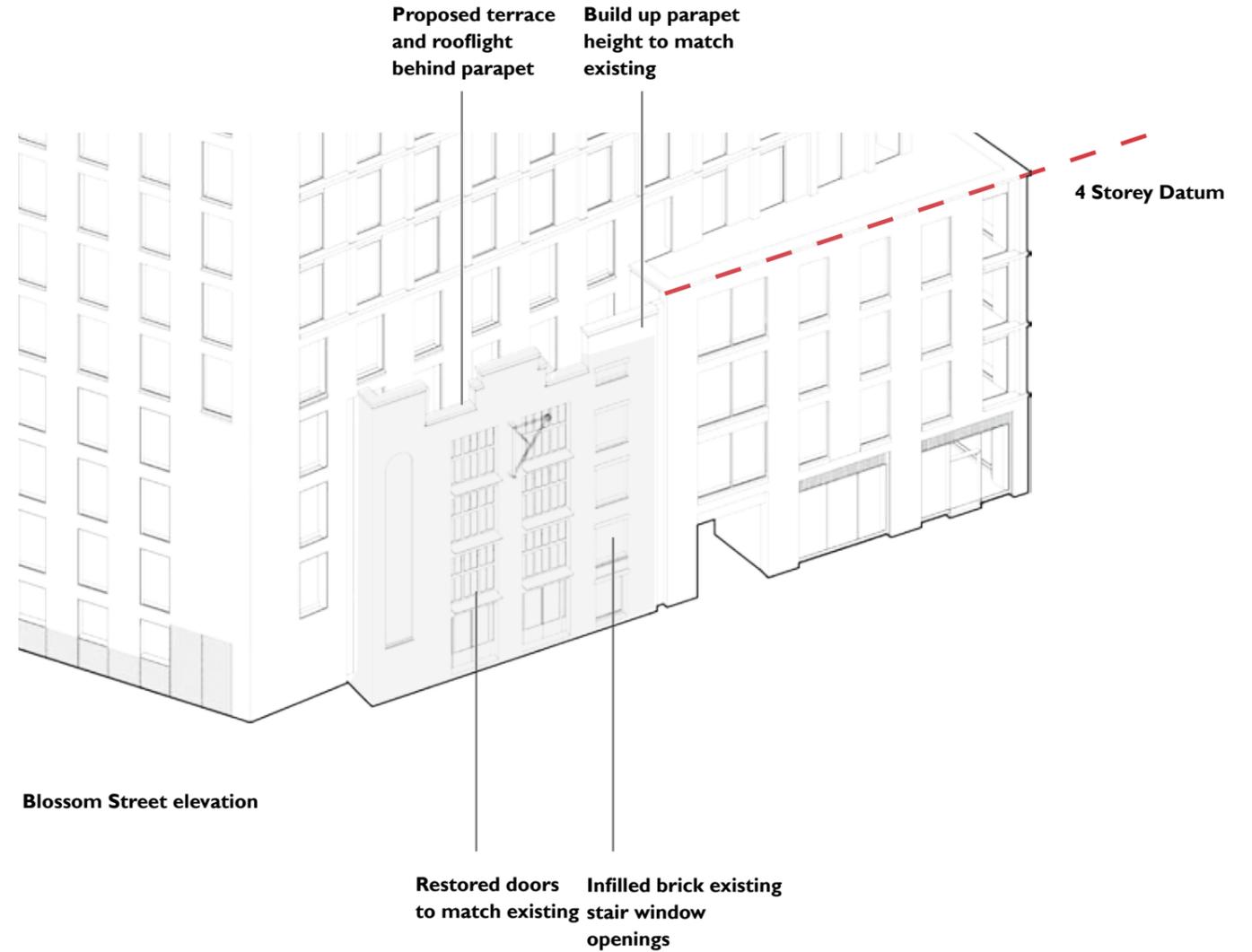
Restore original doors

Repair lintels

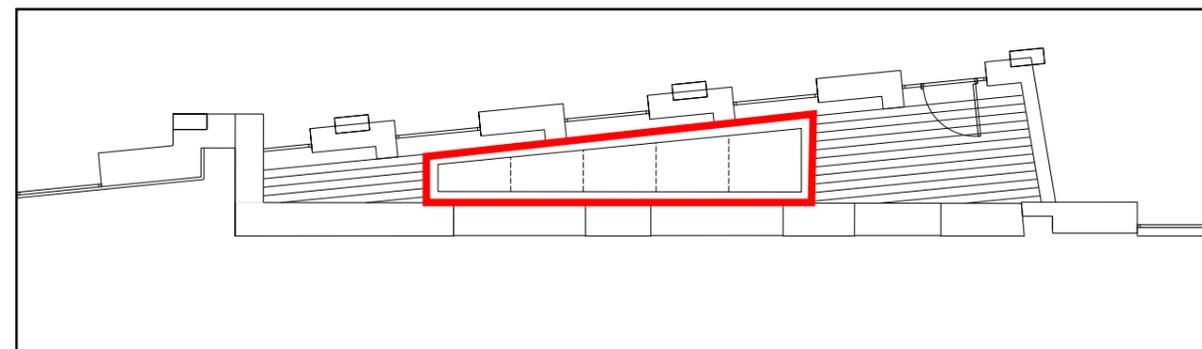
Infill openings with brickwork

Replace doors to match existing restored doors

Replace doors to match existing restored doors



Blossom Street elevation



Warehouse roof terrace showing rooflight

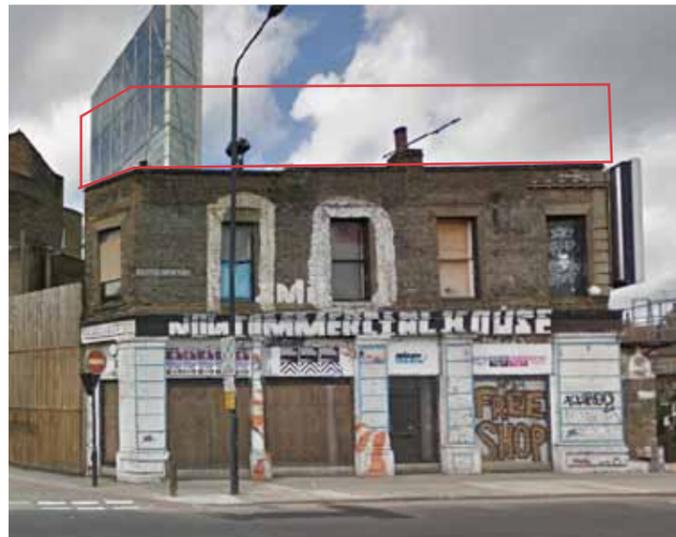
10.0 Plot S2

161 Commercial Street

- Repairing and retaining the façade of 161 Commercial Street to maintain and enhance the corner of the Conservation Area when viewed from Elder Street.
- Rebuilding the lost third storey to reinforce this key datum and providing a separation between the additional volume above.
- Celebrating the corner block by increasing the four storey streetscape to five storeys.



Example typical victorian shopfront



Existing Photograph of 161 Commercial Street with 'Lost' Third Storey

Third storey added in reclaimed brick



Commercial Street elevation

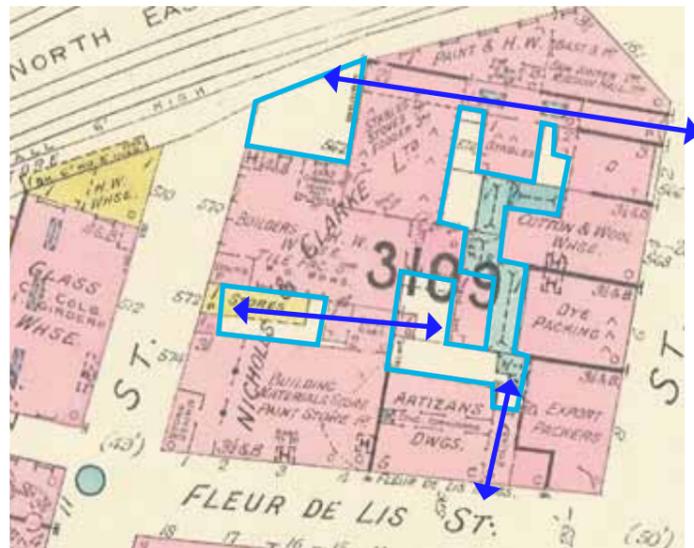
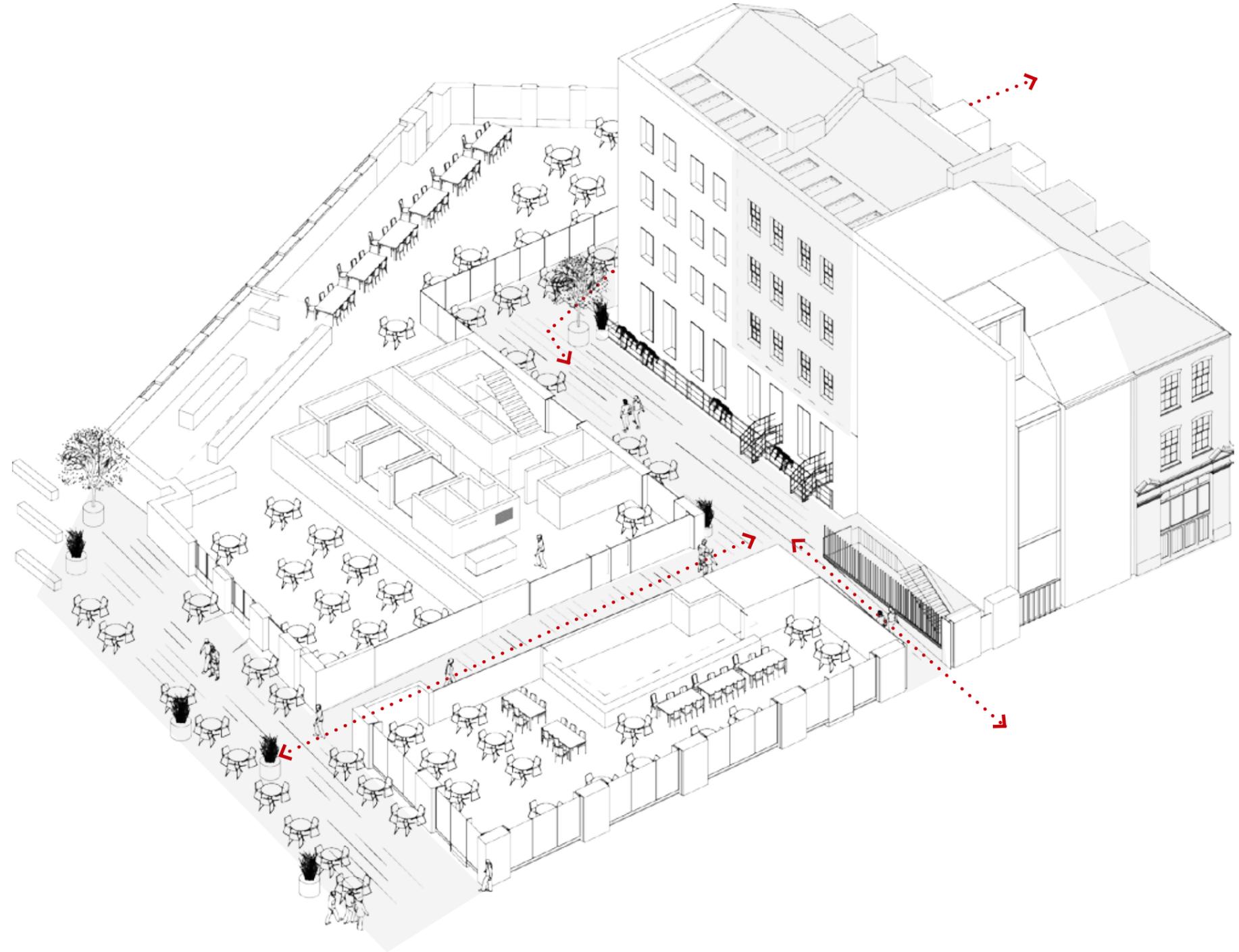
Stucco restored to base

Windows, signage boards replaced to Victorian shopfront arrangement



Courtyard and Passageways

- Introducing the central courtyard to create new public realm and bring light and air to the Elder Street rear facades
- Re-introducing public passageways through the Site linking Elder Street with Blossom Street and increasing public connectivity.



Historic passages and yards

Proposed passages and courtyard

10.0 Plot S2

10.4.1 Land Use

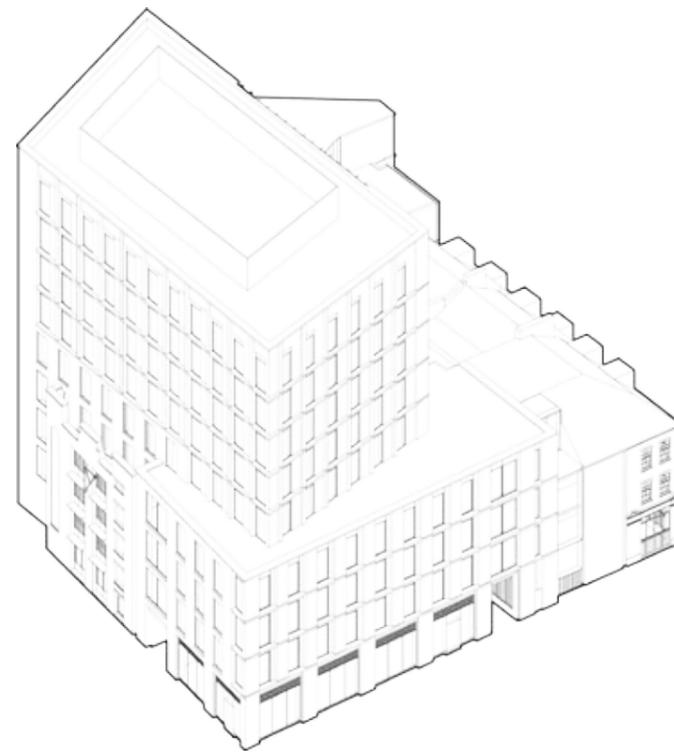
The proposed development is a mixed use scheme and can be split into two distinct elements; the conversion and refurbishment of the existing Elder Street warehouses; and the new development which integrates the 1927 warehouse façade and 161 Commercial Street Façades.

Elder Street Warehouses

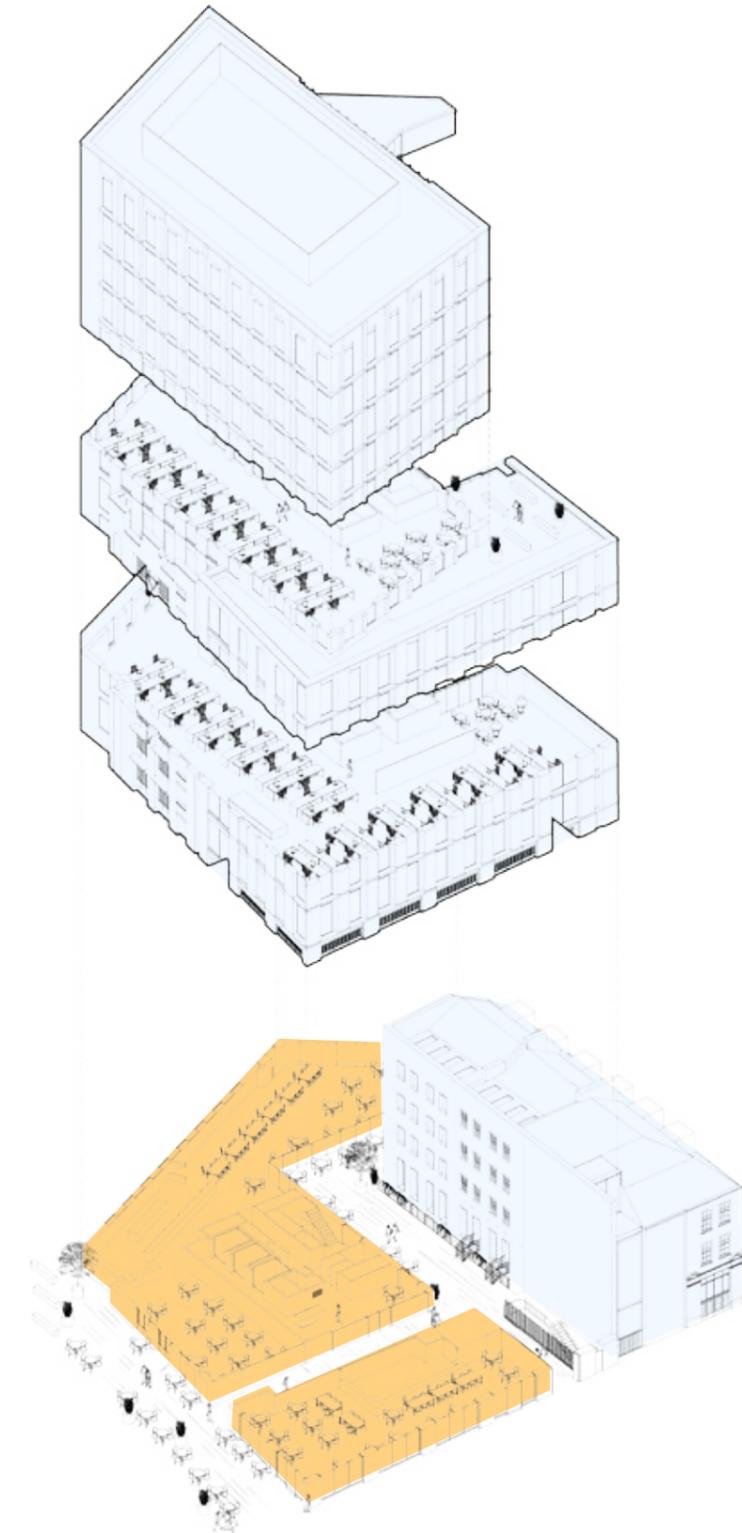
The land use proposed is studio offices for multiple tenants at ground to third storey level.

New Development

The land use proposed is retail /catering at ground level and studio offices at level 1 to level 8, for multiple tenants. A basement also runs underneath S2 and under Blossom Street which houses the majority of the plant equipment to minimise plant at roof level.



Isometric showing proposed composition



Exploded Isometric diagram showing use

- A3
- B1 Office

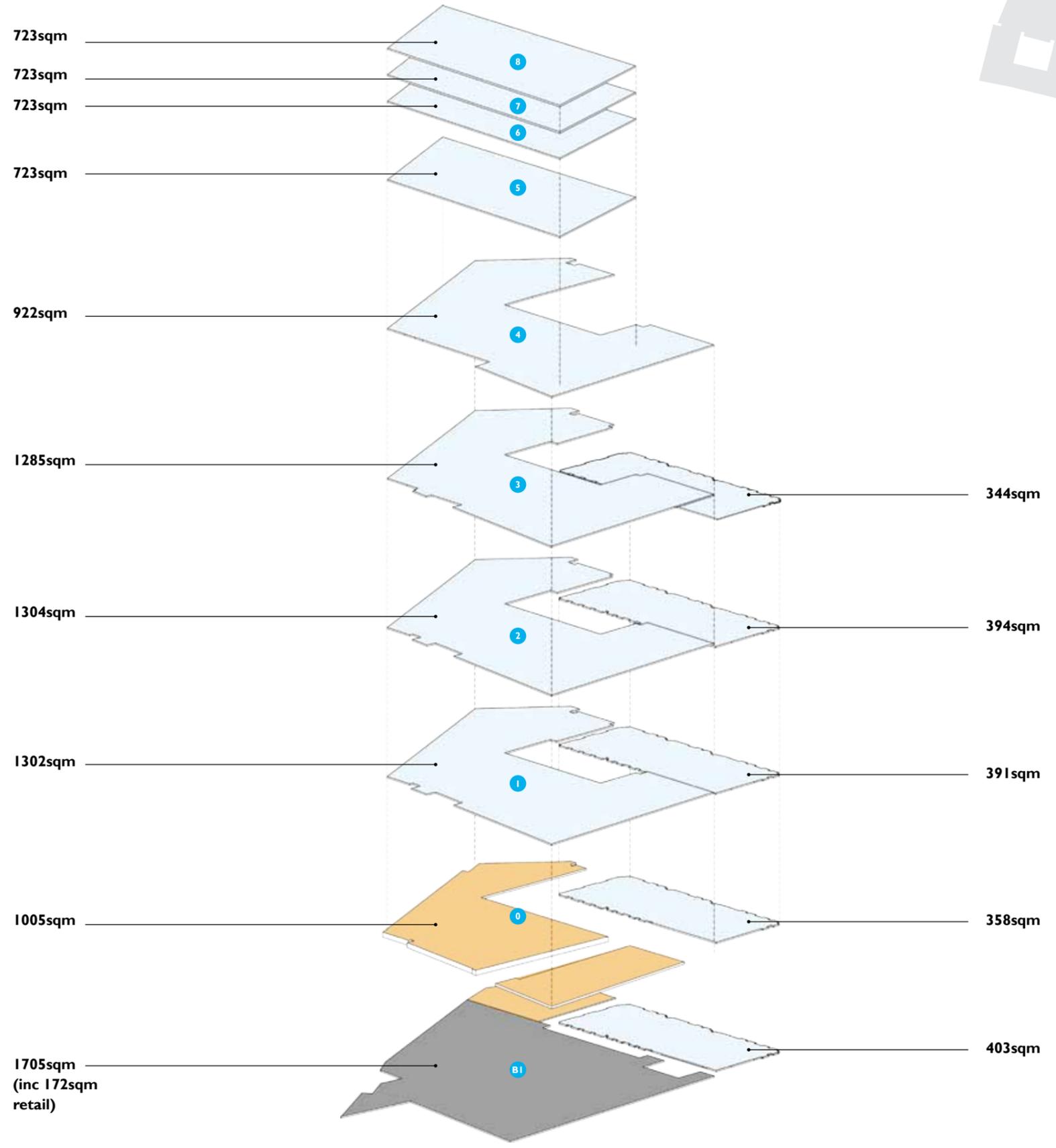


10.4.2 Amount of Development

New development GEA:
 A3 Restaurant 850sqm
 BI Office 7,700sqm

Elder Street Warehouses GEA:
 BI Office 1,890sqm

A3
 BI Office



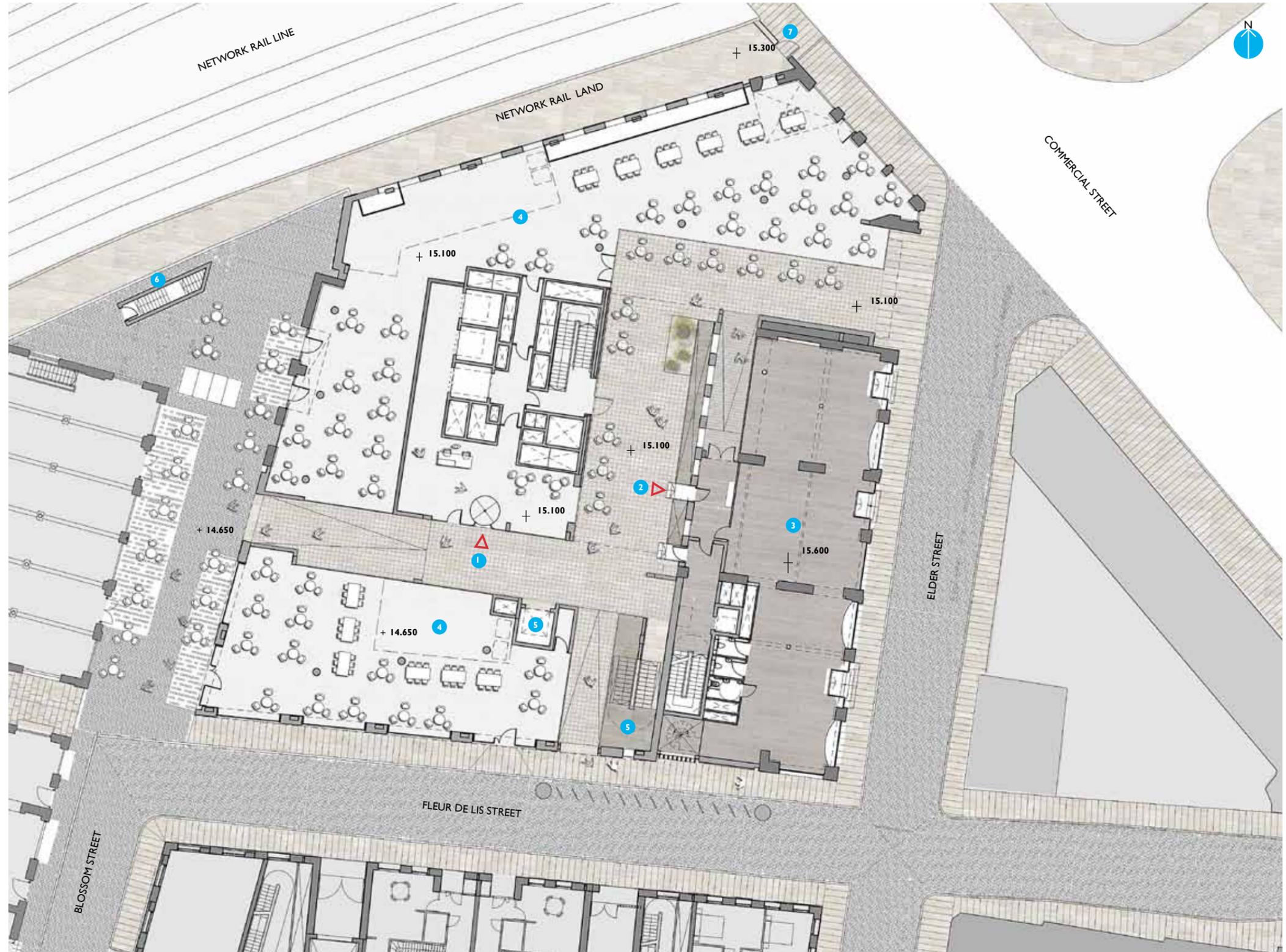
10.0 Plot S2

10.4.3 Layout - Floor Plans

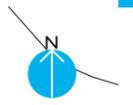
Ground Floor

The ground floor consists of catering units in the New Development and studio office accommodation in the existing Elder Street Warehouses.

1. New Development Reception
2. Elder Street Warehouse Reception
3. Studio Office Space
4. Catering Units
5. Bike Stair Access and Lift
6. UKPN/ Escape Stair
7. Escape Gate from NWR Land



Proposed Site plan (not to scale)



Level 01-02

The first and second floor are open plan office spaces served from a single core. The floor plate is set back from the 1927 warehouse doors. The Elder Street warehouses form a separate studio office space served by a new access core.

- 1. Access Core
- 2. Office Floor Plate
- 3. Lightwell
- 4. Warehouse Studio Spaces



New development interior



Elder Street warehouses interior

Proposed first and second floor plan

10.4.3 Layout - Floor Plans

Level 03

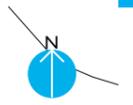
The third floor is similar to first and second floors - there is a small private terrace above the 1927 warehouse.

1. Office Floor Plate
2. Roof Studio Office Spaces
3. Accessible Terrace



Elder Street warehouses roof interior

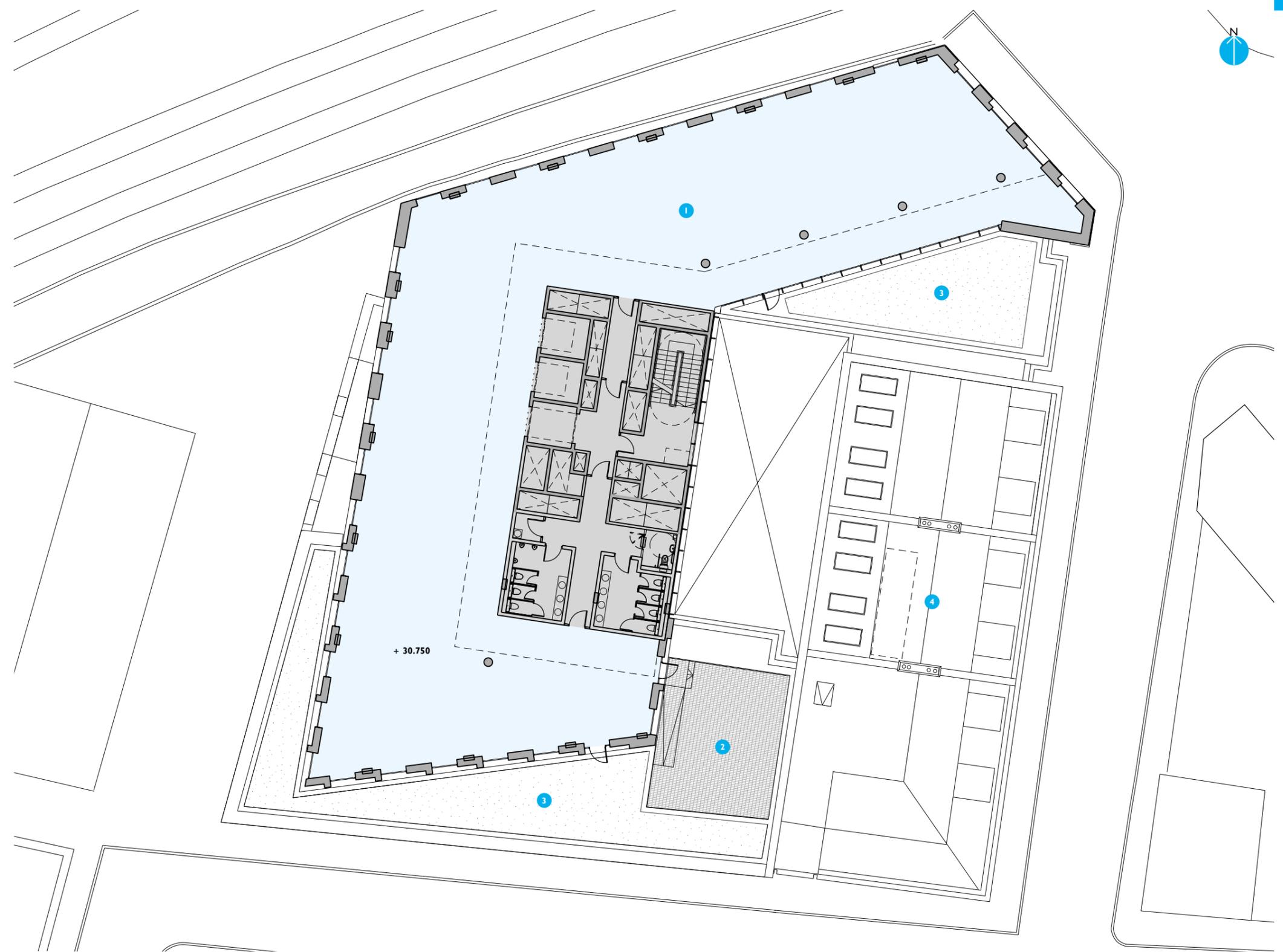
Proposed third floor plan



Level 04

Level 04 sets back from Elder Street and Blossom Street, and back from the roofscape of the Elder Street warehouses. There is a sedum roof at fourth floor with a private terrace looking into the internal courtyard setback from Fleur De Lis Street.

- 1. Office Floor Plate
- 2. Accessible Terrace
- 3. Sedum Roof and Rainwater Attenuation Storage
- 4. Elder Street warehouse roof



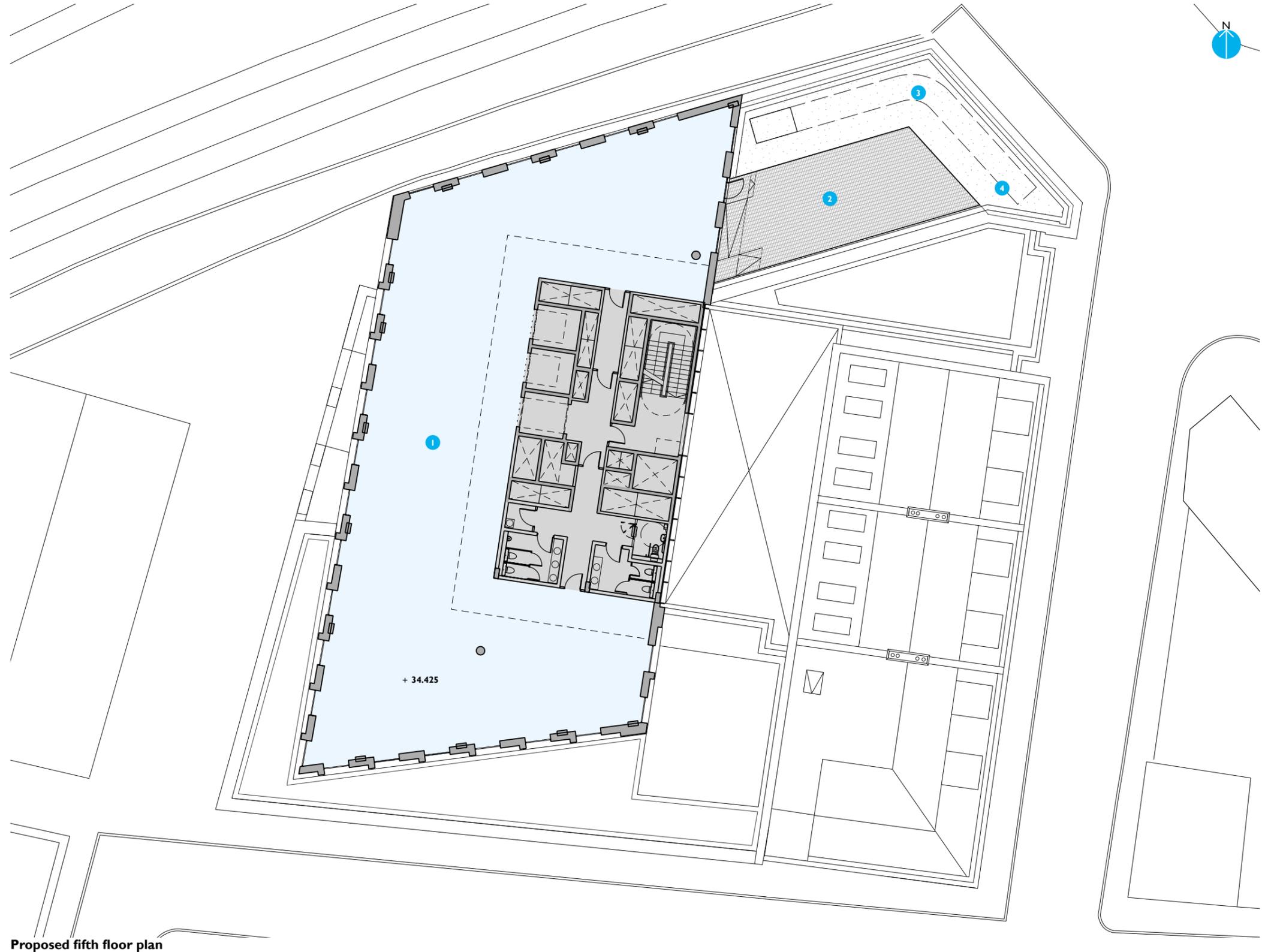
Proposed fourth floor plan

10.4.3 Layout - Floor Plans

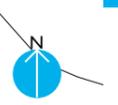
Level 05

There is a sedum roof at fifth floor with a small terrace set back from the street looking into the internal yard. A BMU is also on this level set back behind the proposed roof parapet.

1. Office Floor Plate
2. Accessible Terrace
3. Sedum Roof and Rainwater Attenuation Storage
4. BMU Track

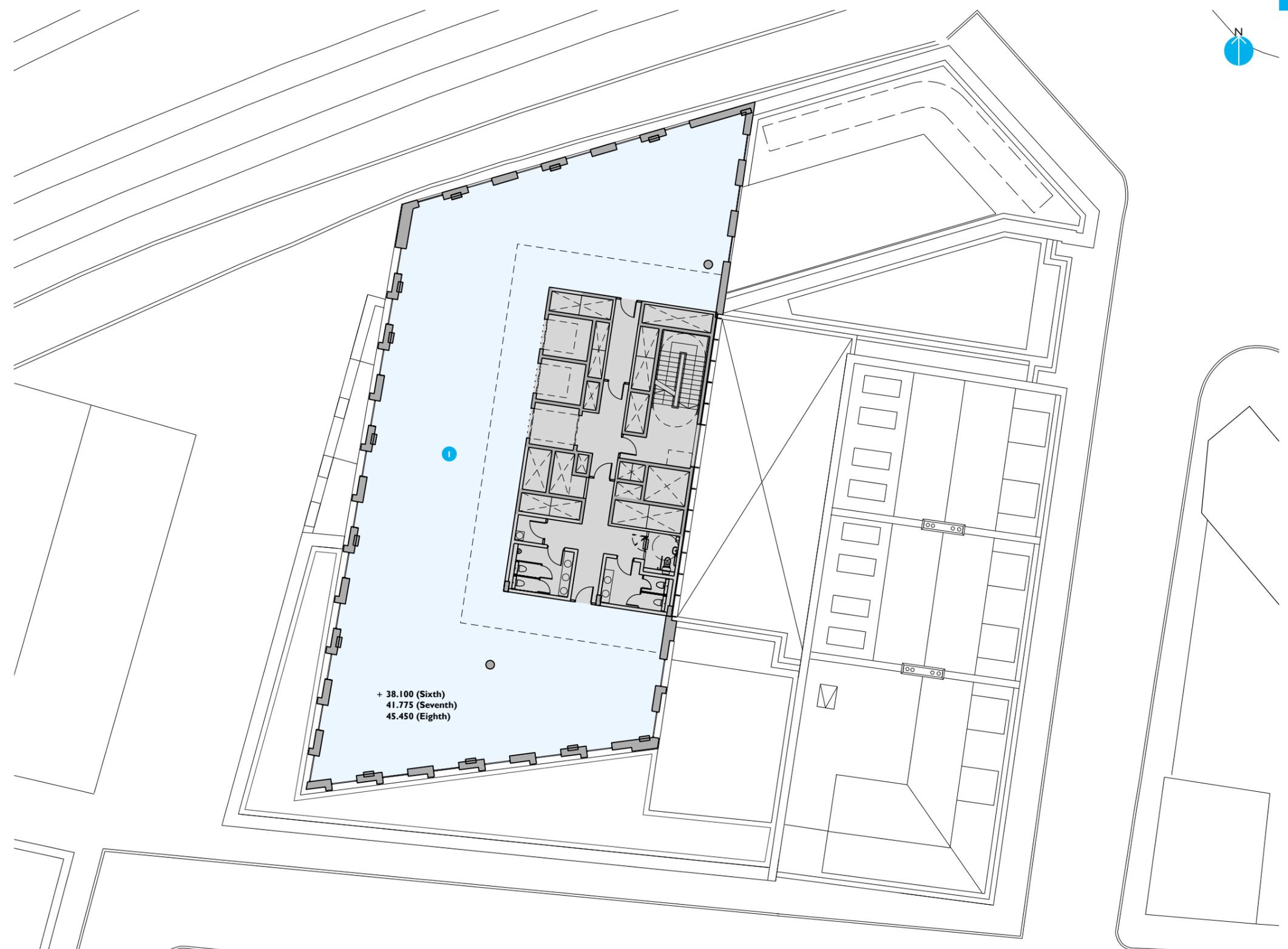


Proposed fifth floor plan



Level 06-08

I. Office Floor Plate



+ 38.100 (Sixth)
41.775 (Seventh)
45.450 (Eighth)

Proposed sixth to eighth floor plan

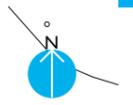
10.4.3 Layout - Floor Plans

Roof Plan

1. Plant enclosure and high level PV array
2. BMU track
3. Sedum roof and rainwater attenuation
4. Accessible roof terraces
5. Rooflights
6. Access hatch
7. BMU housing
8. Concrete Pavers



Proposed roof plan



Basement Level

- 1. No. 161 Basement retail space
- 2. No 4-8 Elder St Basement Studio Offices
- 3. Bike / Escape Stair
- 4. Bike Store
- 5. Showers, Changing rooms and Lockers
- 6. Refuse Store and Lift
- 7. UKPN Room
- 8. UKPN / Escape Stair



Proposed basement floor plan

10.0 Plot S2

10.4.4 Scale / Appearance

Massing

The proposed massing is informed by the four storey existing building heights on the Site and neighbouring buildings.

The four storey height of the 1927 warehouse is drawn through into the proposed infill within the gap Site on Fleur De Lis Street and through to Nos. 4-8 Elder Street.

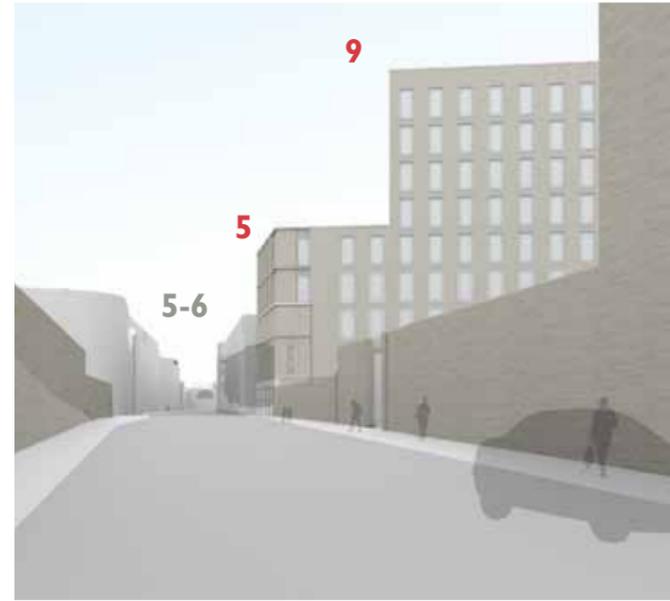
The massing increases to five storeys to the North of the Site relating to five to six storey buildings on Commercial Street.

The remainder of the massing is placed to the rear of the Site, which is then set back from the street elevation.

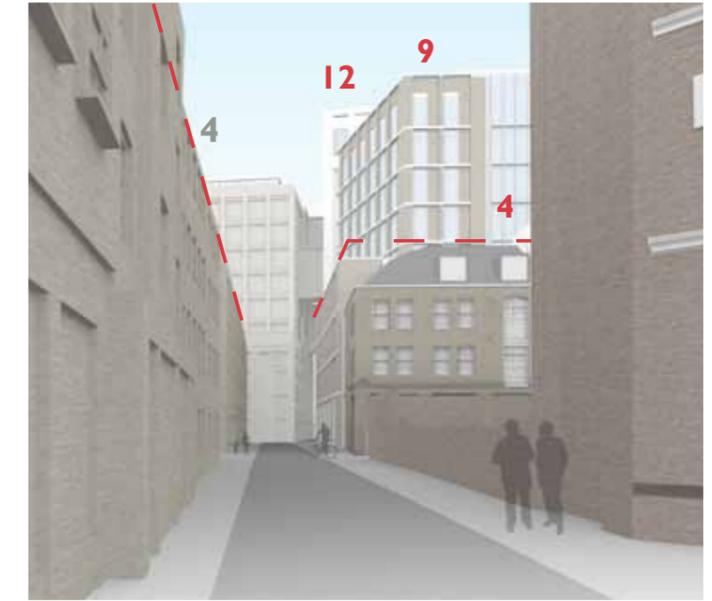
The wider aim of the massing is to mediate between the taller buildings in the City fringe on Shoreditch High Street with the more domestically scaled residential buildings on Elder Street.



Blossom Street four storey datum



Commercial Street five storey corner



Fleur De Lis Street



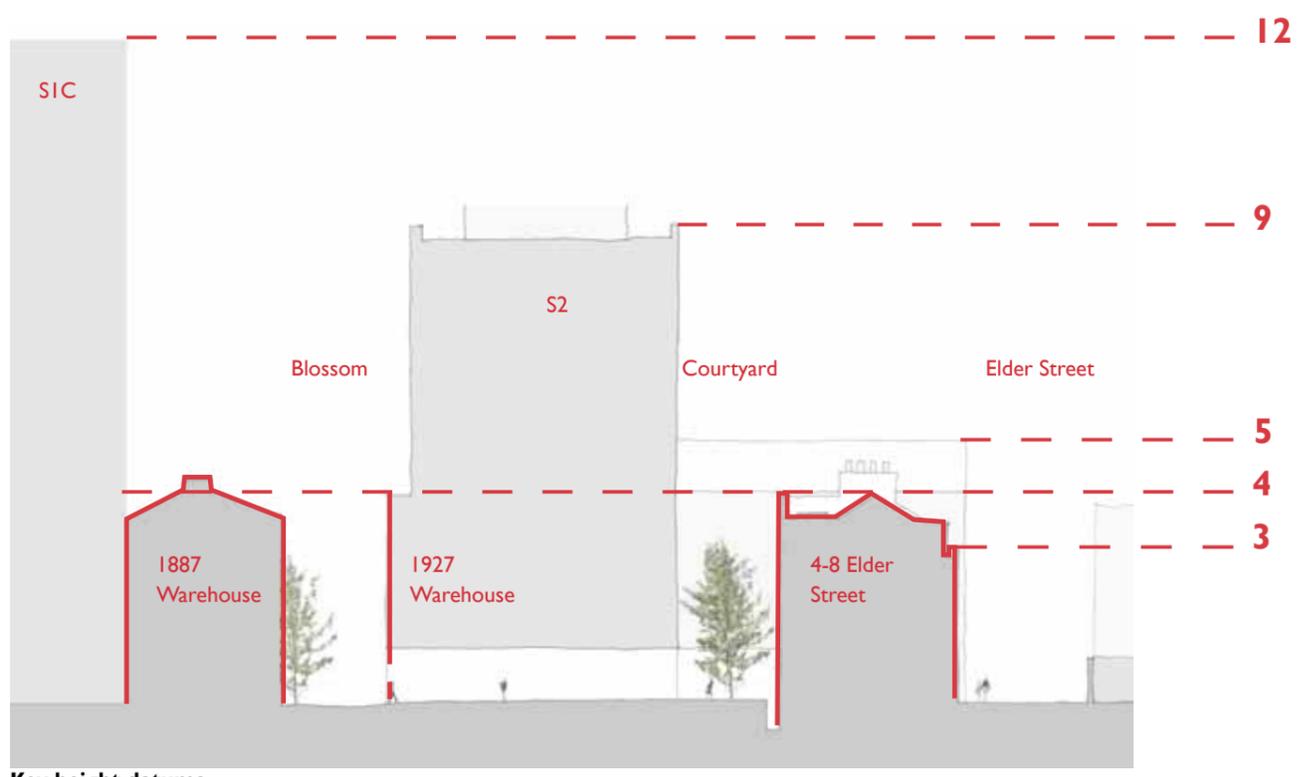
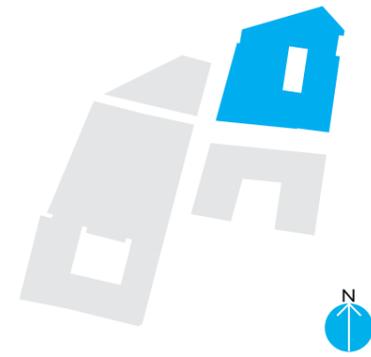
Massing model - West elevation



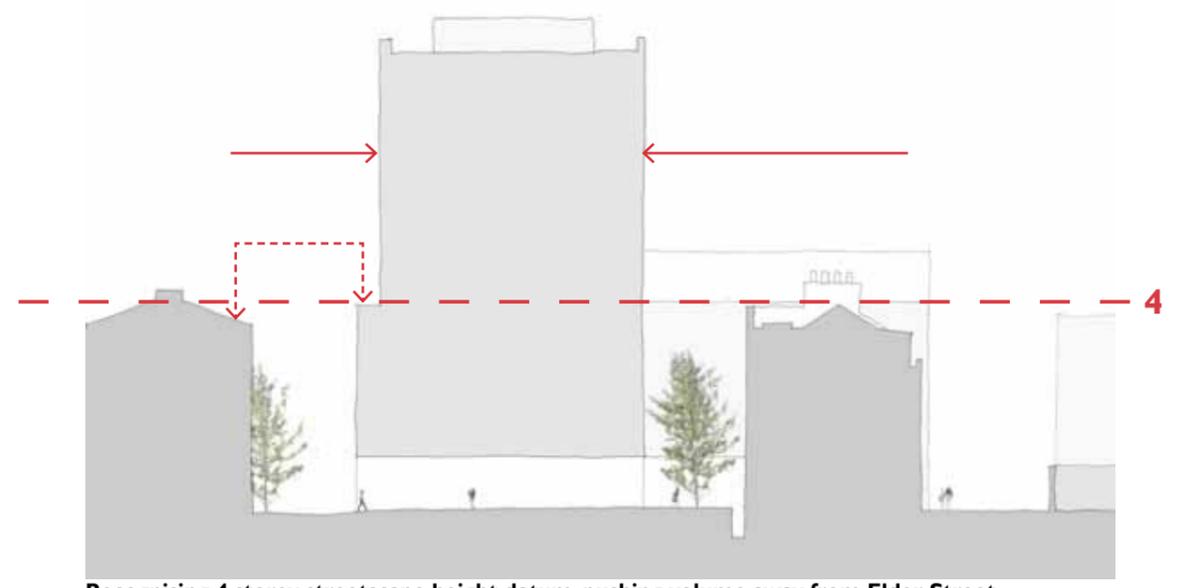
Massing model - South elevation



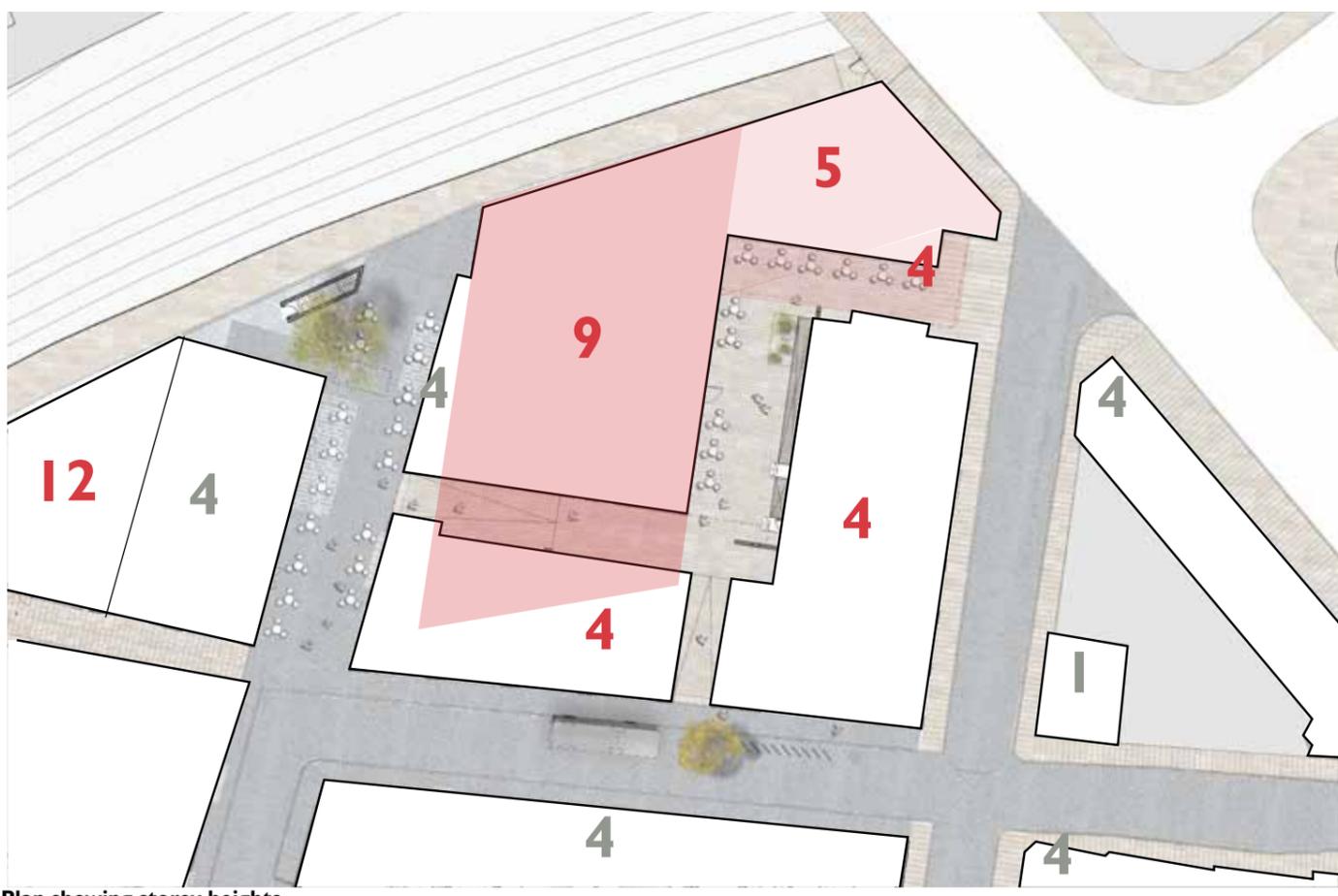
Massing model - North East elevation



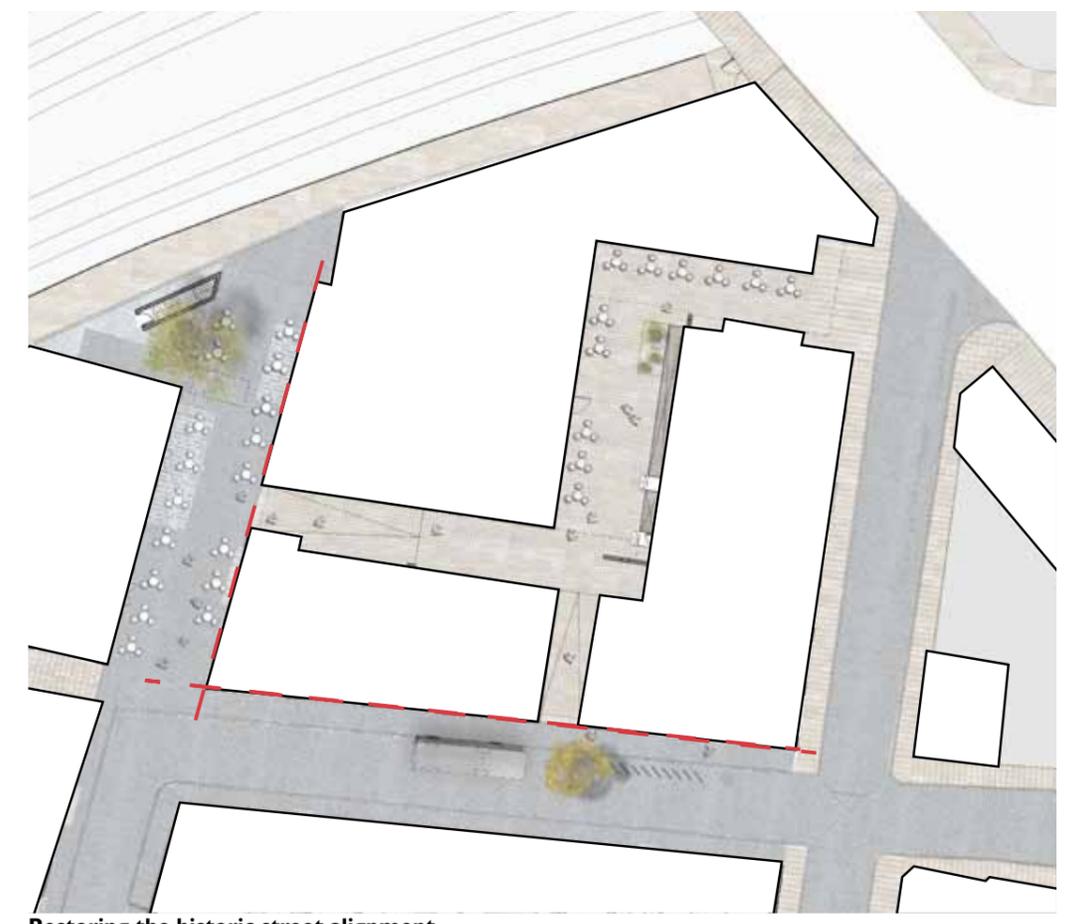
Key height datums



Recognising 4 storey streetscape height datum, pushing volume away from Elder Street



Plan showing storey heights



Restoring the historic street alignment

10.0 Plot S2

10.4.4 Scale / Appearance



1. Reclaimed Brickwork, Bell Lane Development, Spitalfields



2. Light Brickwork, Kolumba Museum, Cologne



3. Fairfaced Concrete, Central Saint Martins University of the Arts, Kings Cross



4. Metalwork and Glazing, Central Saint Martins University of the Arts, Kings Cross

Material References

Reclaimed brick is proposed for alterations to the Elder Street buildings and Commercial Street 3rd storey, to ensure the rich texture of these buildings carries through to the new parts.

It is proposed that the weathered character is left to remain on existing elements. This can be observed in the recent alterations to the warehouse buildings on Bell Lane, Spitalfields.

Light Brickwork is proposed for the new development, influenced by the warehouses currently on Site, but in a different colour tone to the existing buildings to separate old and new. However, the brick texture that defines the urban grain of the area and appears to consolidate each urban block is carried through to unite the whole composition.

Concrete is an 'as found' structural material inherent in many of the warehouses on Site which give S2 its industrial, utilitarian nature.

Lintels are proposed to be formed out of fairfaced concrete, expressing the materiality of the structure that provide contrast to the brickwork and reinforce the horizontality and depth of the façades addressing the Conservation Area.

Painted metalwork and glazing is proposed as a 'contemporary' version of the existing timber loading doors on the 1927 warehouse - revealed as a secondary layer behind brickwork.



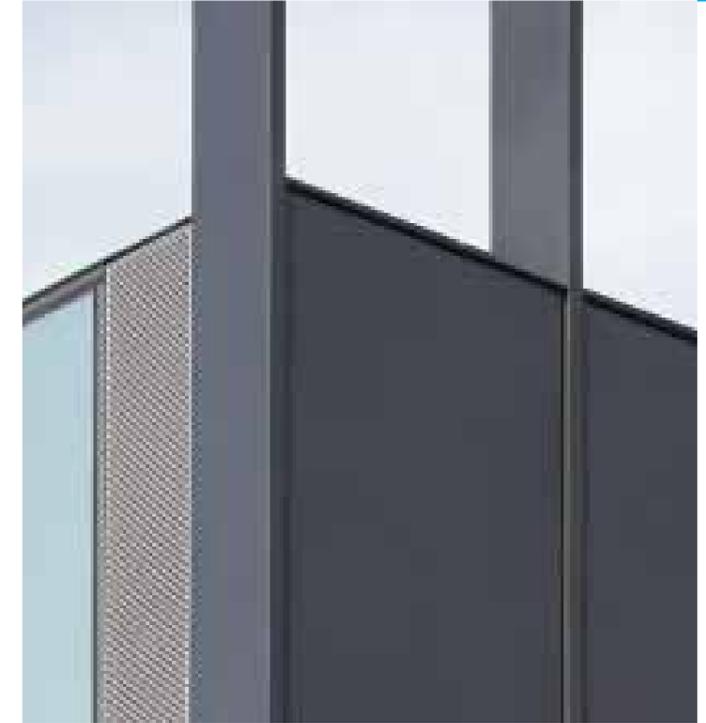
1. Reclaimed Brickwork, close-up



2. Light Brickwork, close-up



3. Fairfaced Concrete , close-up



4. Metalwork and Glazing, close-up

10.0 Plot S2

10.4.4 Scale / Appearance

Blossom Street

Key moves

- Retain the character and weathered quality of the existing brickwork making local repairs where required.
- Repair the existing horizontal lintels.
- Restore original doors and replace missing doors to match existing.
- 'Release' corner of warehouse frontage and set back new development.
- Build up parapet to match existing and relate to adjacent new development.
- Setback floor plates behind loading doors so not visible from the exterior.
- Infill stairwell windows with brickwork.



Key view

278



Nicholls and Clarke Yard

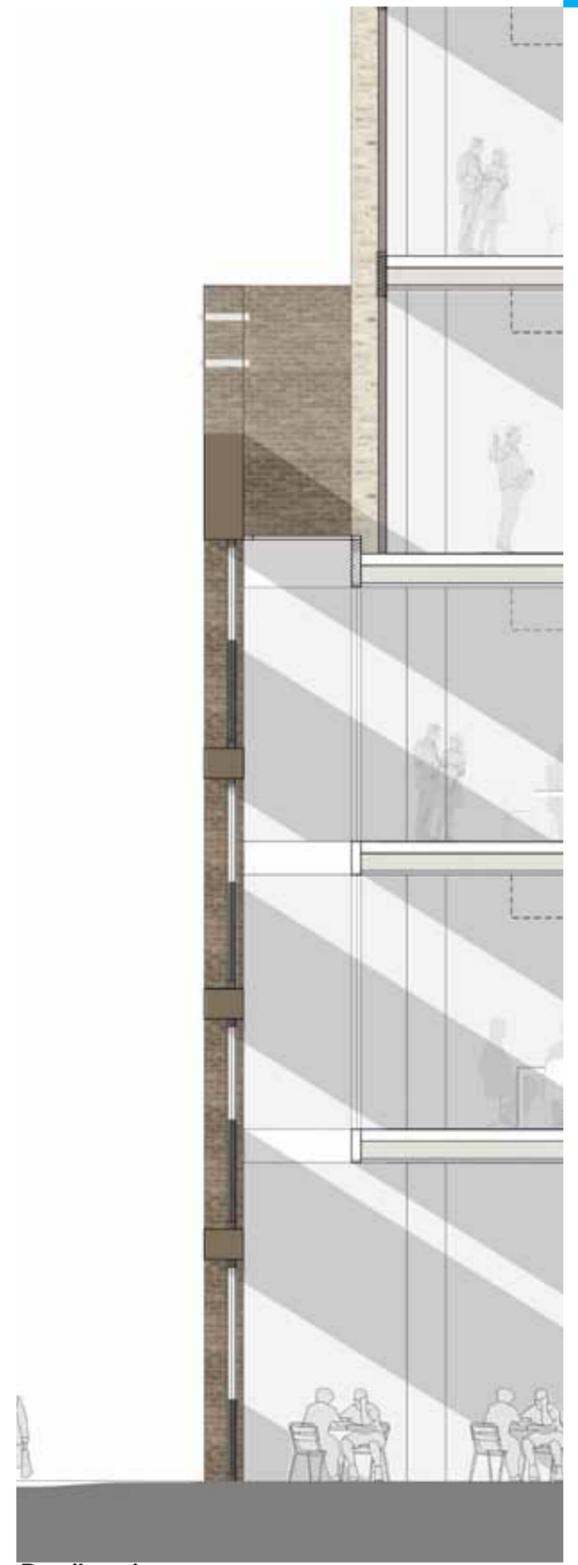


1927 Warehouse

- Upper volume set back
- Existing coping repaired as required
- Parapet extended to match existing
- Existing brickwork repaired as required
- Restored original painted timber warehouse doors and projecting foot boards
- Stairwell windows made 'blind' infilled with reclaimed brickwork to match existing
- Horizontal lintels repaired
- Contemporary timber 'stable opening' doors to match existing
- Timber window



Detail elevation



Detail section

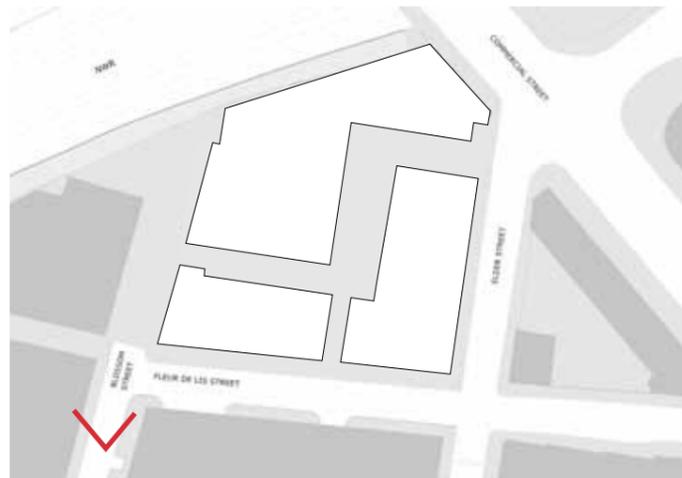
10.0 Plot S2

10.4.4 Scale / Appearance

Blossom/Fleur De Lis Street

Key moves

- Light brickwork infill to contrast existing heritage buildings.
- 500mm expressed joint between 1927 warehouse and new development.
- Consolidate the streetscape by infilling the gap Site on Blossom Street / Fleur De Lis Street up to four storeys.
- Ground floor shopfronts opening on to Blossom Street.



Key view



Key view of Blossom / Fleur De Lis Street

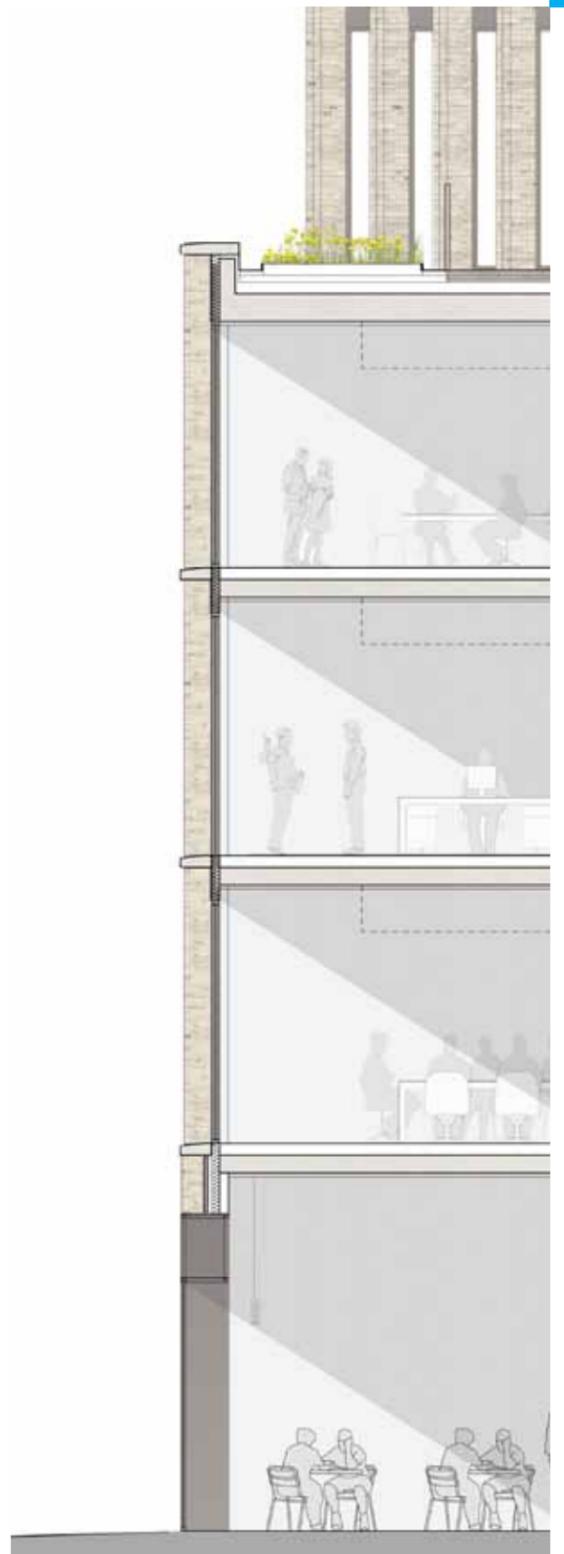


Nicholls and Clarke Yard

- Upper volume set back
- Glass balustrade setback
- Sedum roof / brick terrace
- Metal overpanel
- Exposed precast concrete lintels
- Metal framed clear glazing
- Carved light brickwork masonry piers
- Metal overpanel
- Vertical metal grille for air venting
- Zone for retractable canopy
- Shopfront signage behind glazing
- Metal glazing framework



Detail elevation



Detail section

10.0 Plot S2

10.4.4 Scale / Appearance

Fleur De Lis / Elder Street

Key moves

- Retain the character and weathered quality of the existing brickwork making local repairs where required.
- Remove white stucco at ground level and restore brick piers.
- Refurbish existing windows and doors at first to second. Restore ground floor windows and doors to match No 6 with additional vertical mullions.
- Repaint external joinery.
- Repair facade brickwork where required.
- 2no Additional dormer windows.



No 6 - Elder Street



Key view



Elder Street



No. 4-8 Street

- Repair chimneys
- Repair existing grey slate roof
- Proposed new dormers to match existing dormers
- New balustrade rail to match existing
- Repaired existing loading doors
- Repaired existing windows
- Repair existing brickwork as required
- Repair and paint existing signage boards
- Remove stucco and restore brick piers
- Replacement painted timber windows to match No 6
- Repaired entrance doors
- Replacement painted timber basement windows to match No 6



Detail elevation



10.0 Plot S2

10.4.4 Scale / Appearance

Elder Street

Key moves

- Inserting a new access core to No 8 Elder Street.
- New extension to proposed roof - a continuation of existing roof hipped profile and parapet coping.
- One brick deep expressed joint between existing flank end and proposed infill. Flush band of vertical soldier coursing relating to existing Elder Street cornice.
- Vertical metal framed window with vertical metal balustrade at ground.
- One additional contemporary dormer on Fleur De Lis Street to bring light into the access core.



Key view



Elder Street



No. 8 Elder Street Extension



Existing narrow end elevation to Fleur De Lis Street



- New dormer window
- Proposed grey slate hipped roof profile to match existing
- Metal rail replaced
- Proposed Light brickwork
- Reclaimed brickwork
- Repaired brickwork
- One brick deep recessed expressed joint in reclaimed brickwork
- Vertical metal framed window
- Brickwork soldier coursing
- Metal transom
- Vertical metal balustrade with glazing behind

Detail elevation

10.0 Plot S2

10.4.4 Scale / Appearance

Internal Courtyard

Key moves

- Creating a light filled, open, public yard separating the rear of Elder Street with the new development.
- Retaining the character and weathered quality of the existing brickwork making local repairs where required.
- Providing accessible entrance to the rear of Elder Street.
- Creating a basement lightwell to the rear.
- Creating new window openings to the rear of No 4.
- Activating the yard with ground floor catering units.



Existing Rear Elevation



Key view



Proposed Elder Courtyard



No. 4-8 Elder Street Rear

- Brick coping to match existing
- Parapet level raised in reclaimed brickwork
- Reclaimed brickwork
- Existing brickwork
- Existing brickwork lintels
- Repaired existing windows
- Proposed brick lintels
- Proposed metal framed windows
- Metal framed glazed doors
- Opening with passage beyond
- Solid metal balustrade
- open metal balustrade
- Metal stairs
- Proposed metal framed windows
- New Basement wall in reclaimed brickwork to match existing



Detail elevation

10.0 Plot S2

10.4.4 Scale / Appearance

Elder Street Roof

Key moves

- 2 additional dormers on Elder Street.
- 1 additional dormer on Fleur De Lis Street.
- New rooflights to the rear.
- Rear roof pitch lowered to simplify internal structure.
- Existing party wall arches opened up and building laterally connected.
- Existing staircases removed.



Existing roof photograph



Central St Martins transit sheds refurbishment

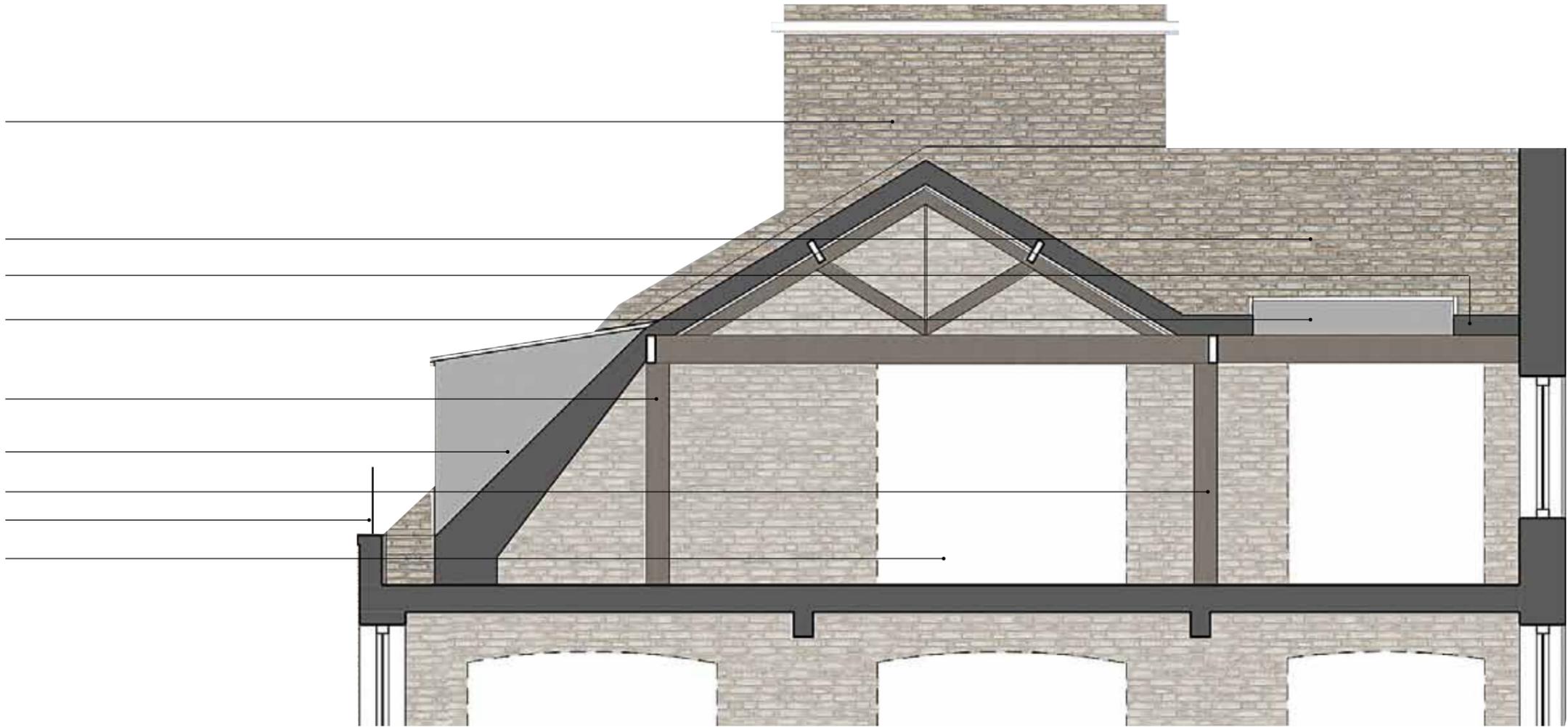


Elder Street roof spaces, internal view



No. 4-8 Elder Street Roof

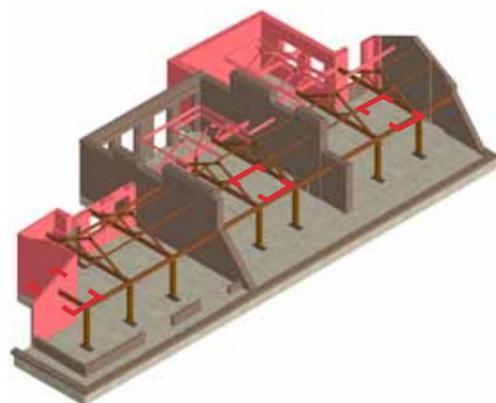
- Retained chimneys
- Raised party walls in reclaimed brickwork
- Lowered roof section finishes to match existing
- New rooflights
- Retained existing structure
- Proposed new dormers to match existing dormers
- New timber portal structure
- Replaced balustrade rail to match existing
- Existing arches opened up to laterally connect buildings



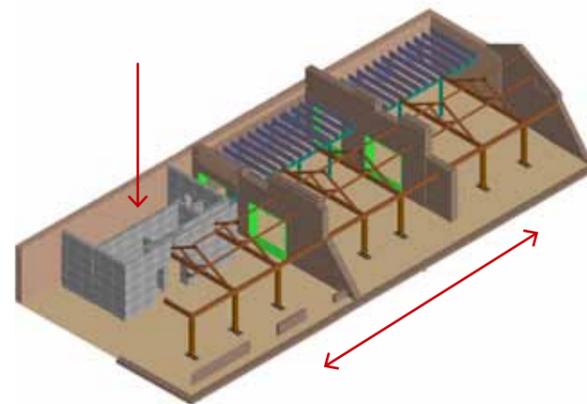
Detail section of roof



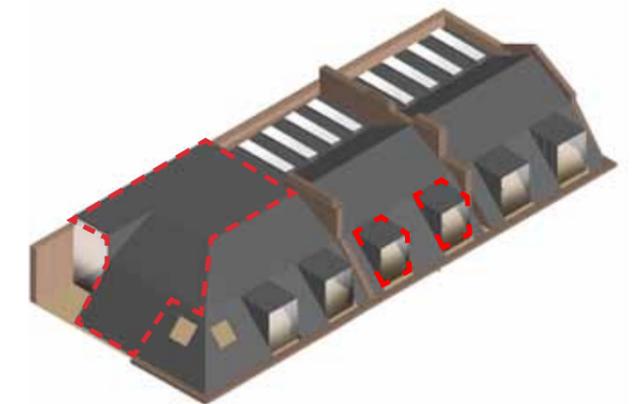
1. Existing roof



2. Open up 'blind' rear elevation and remove internal staircases



3. Insert new access core and create lateral connection



4. New dormers and rooflights within traditional roof form

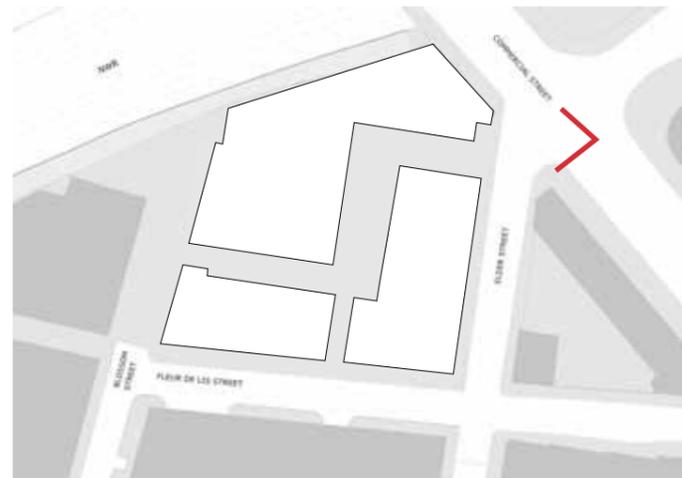
10.0 Plot S2

10.4.4 Scale / Appearance

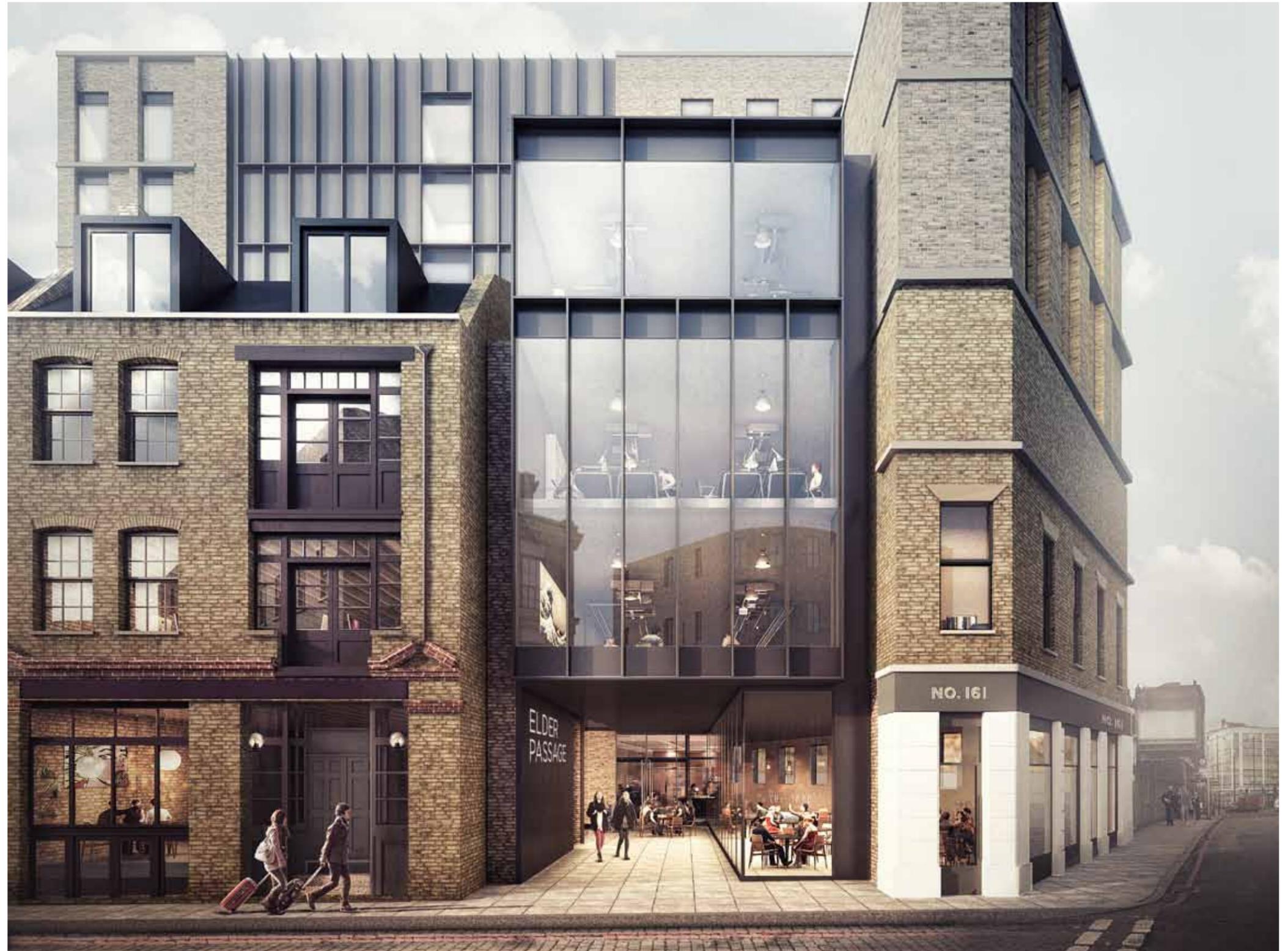
Elder / Commercial Street

Key moves

- 'Gateway' to the internal courtyard and restored active passageway to Blossom Street.
- Repairing the existing streetscape with the proposed infill.
- Expressed brickwork recessed wall to separate the Elder Street warehouses from the new development.
- Metal language of the courtyard expressed on the streetscape to draw people through into the proposed public space.
- Providing accessible entrance to the Elder Street warehouses.



Key view



Elder Street



No 2 Elder Street

- Metal parapet setback from facade
- Metal overpanel
- Metal framed window with projecting vertical mullions
- Metal profile
- Reclaimed 'recessed' brickwork wall
- Metal lining to recessed shadow gap
- Backpainted glass
- Metal profile
- Metal lining
- Passageway (glazing beyond)
- Metal framed window



Detail elevation

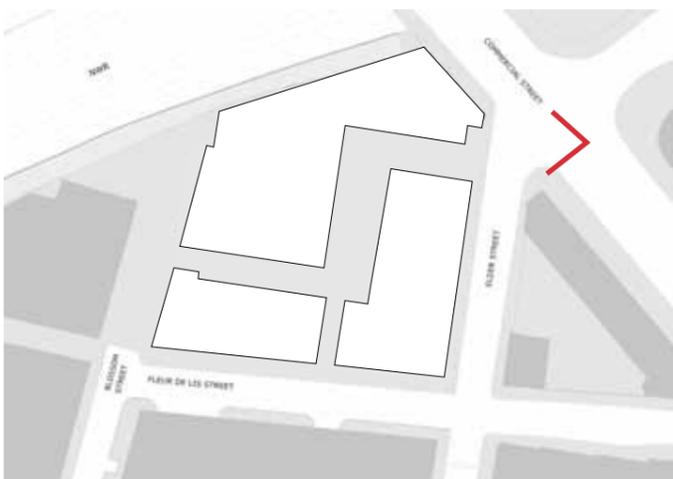
10.0 Plot S2

10.4.4 Scale / Appearance

161 Commercial Street

Key moves

- Repairing and retaining the façade of 161 Commercial Street.
- Rebuilding the lost third storey to reinforce this key datum.
- Providing a separation between the additional volume above.
- Restoring and celebrating the corner block by increasing the height to five storeys.



Key view

Concrete coping

Metal overpanel

Metal framed window

Proposed light brickwork

Projecting concrete lintel

Projecting concrete lintel

One brick deep recessed brick joint separating old and new

Reclaimed brickwork

Projecting concrete lintel replacing existing coping

Repaired existing brickwork

Existing concrete lintels

Repaired original sash windows

Painted timber signage boards

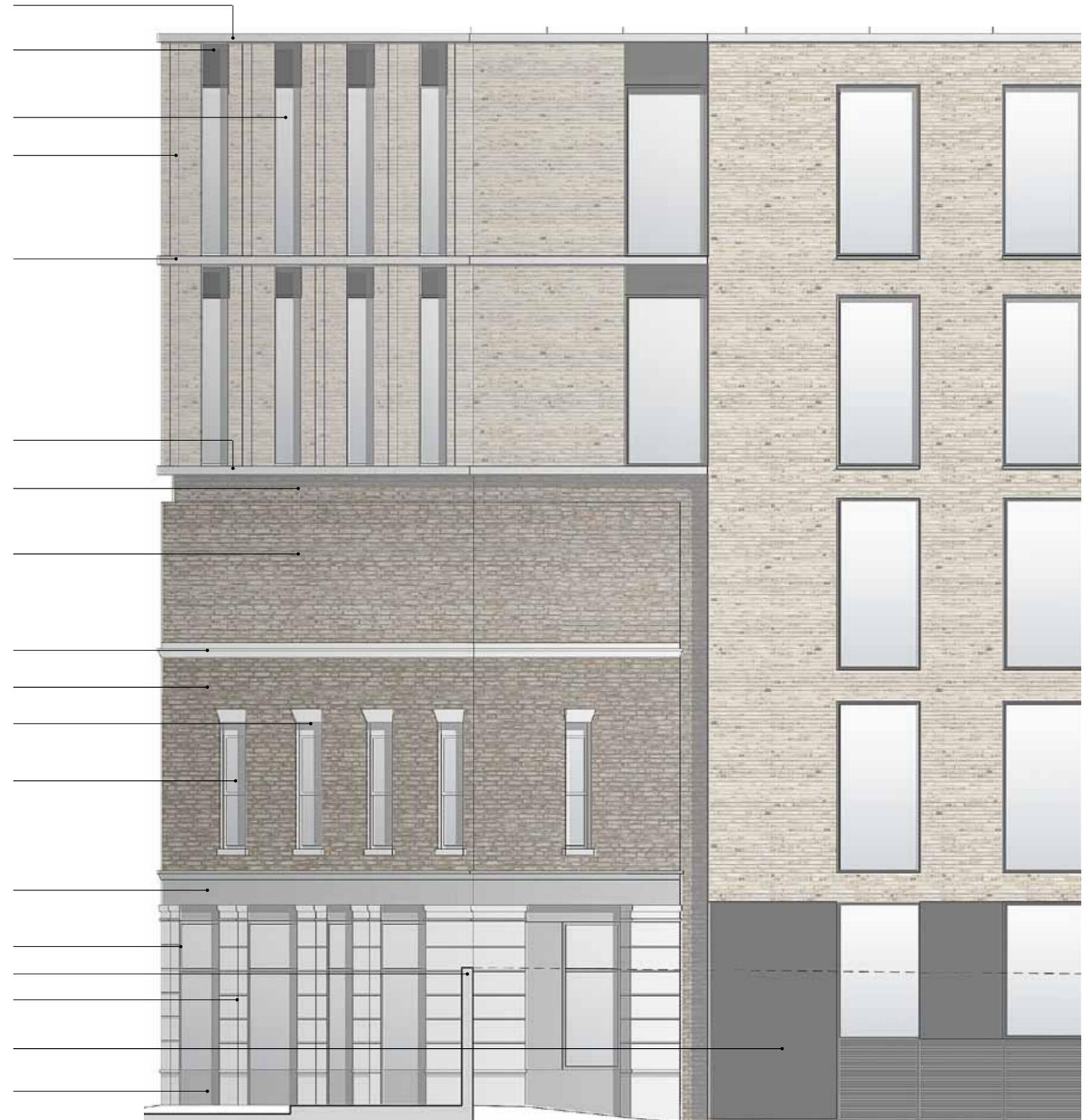
Painted timber windows

Existing gate post

Repaired Pilasters to Victorian arrangement

Metal panels

Painted timber base panel



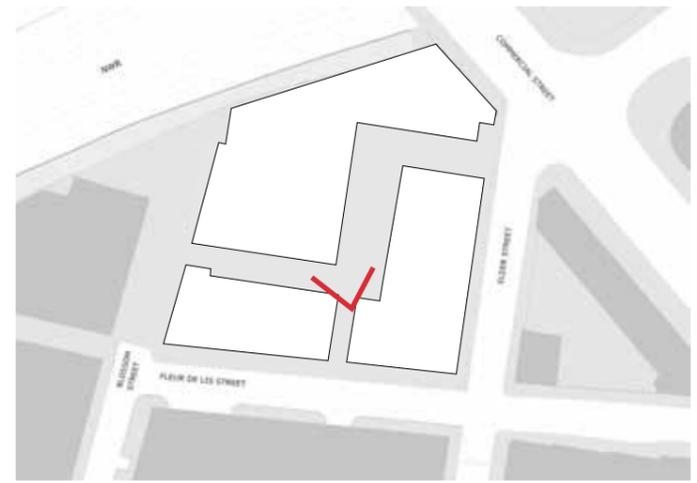
Detail elevation



Internal yard

Key moves

- Brick base and solid metal cladding with projecting mullions.



Key view

Metal recessed windows

Projecting horizontal profile

Projecting vertical mullions

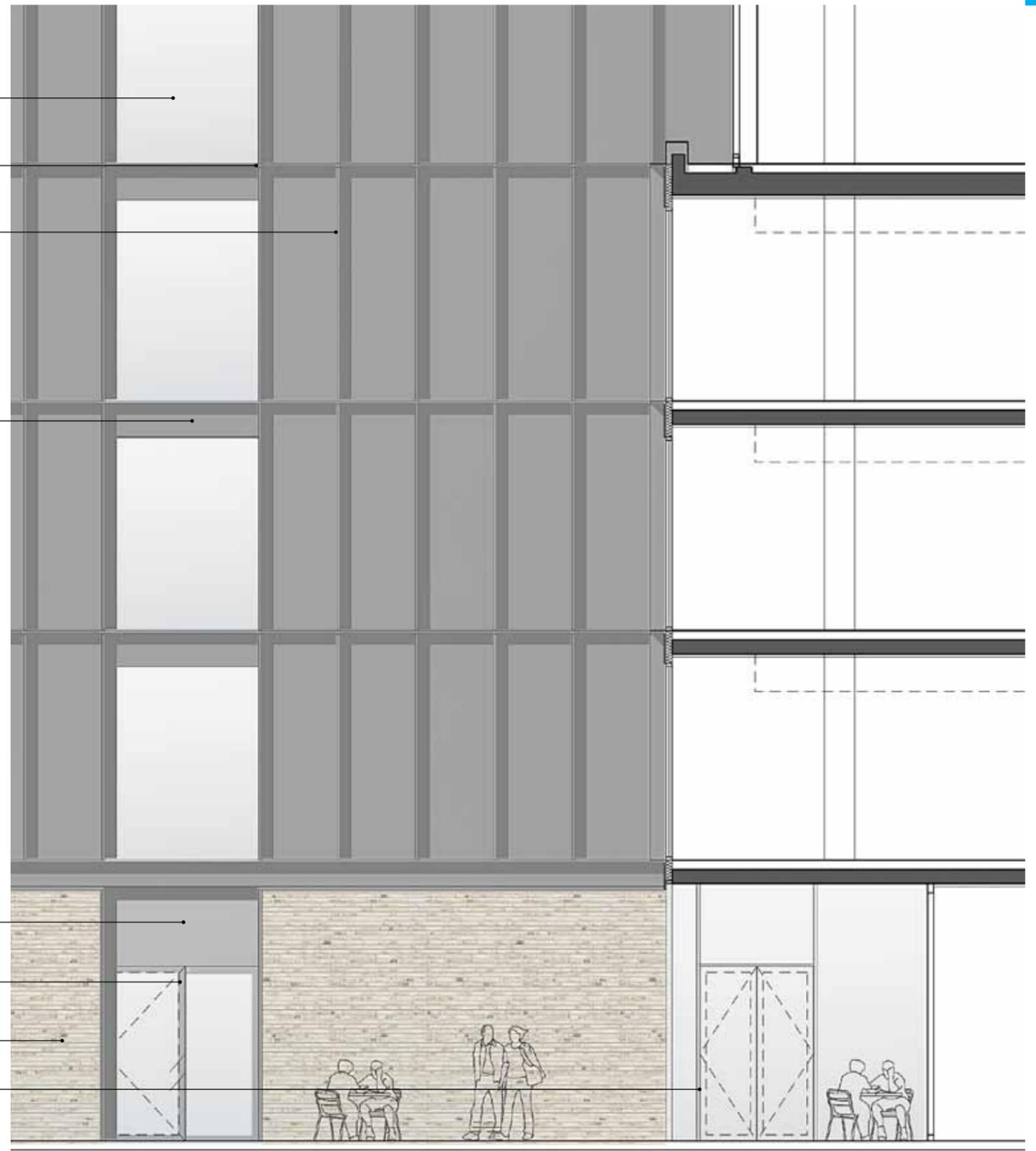
Metal overpanel

Metal overpanel

Metal framed glazing and doors

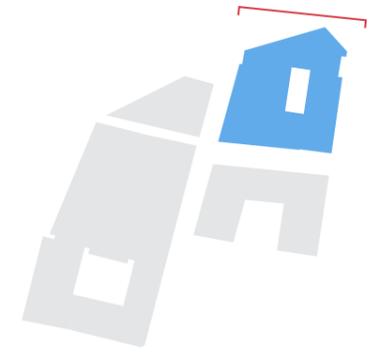
Light brickwork

Metal framed glazing



Detail elevation

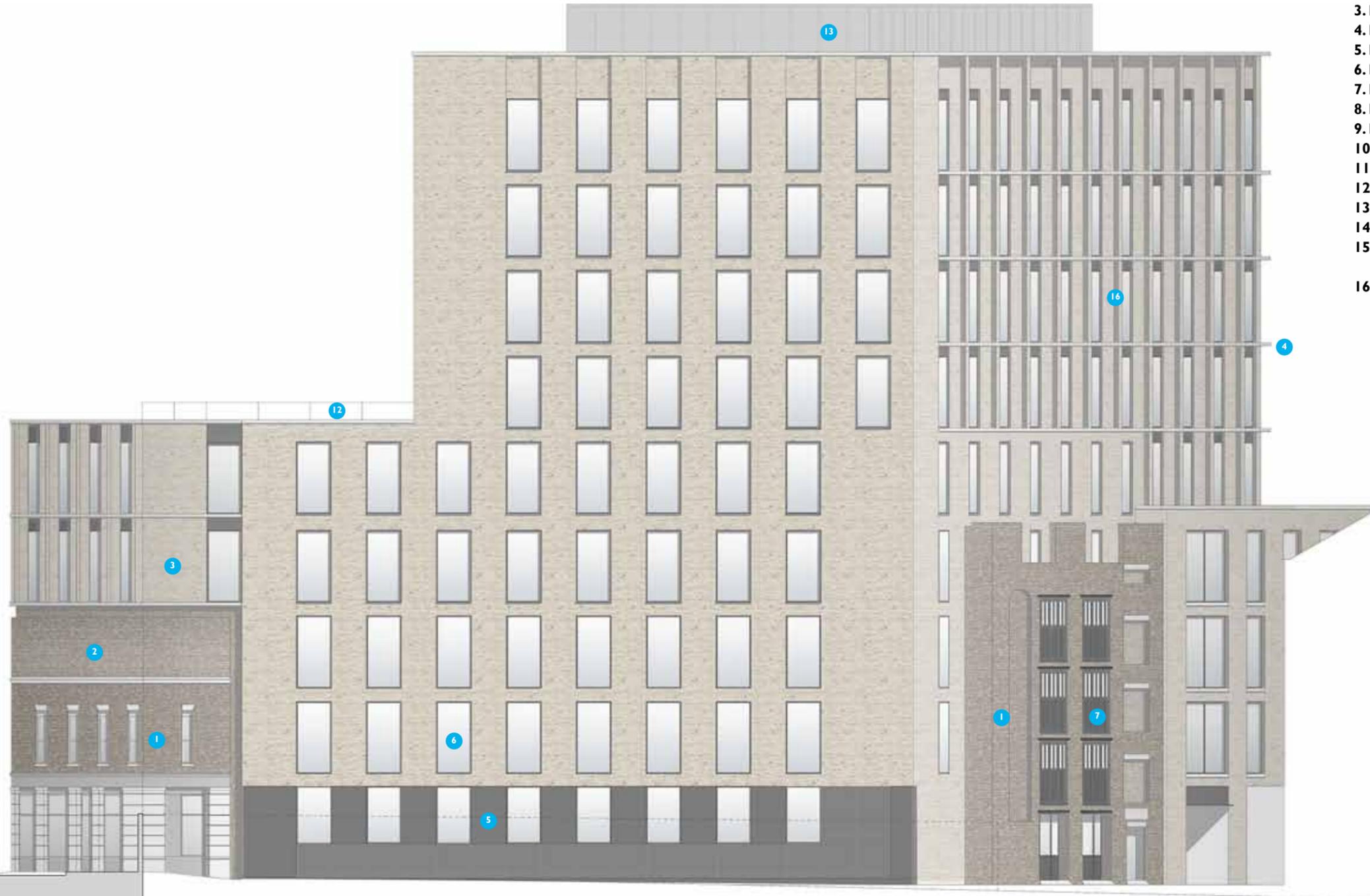
10.0 Plot S2



10.4.4 Scale / Appearance

Elevations - North

- Plant Screen
+52.580m
- Parapet
+50.550m
- RFL
+49.410m
- L08
+45.450m
- L07
+41.775m
- L06
+38.100m
- L05 Parapet
+34.775m
- L04 Parapet
+30.750m
- L03
+26.950m
- L02
+23.275m
- L01
+19.600m
- L00
+16.100m



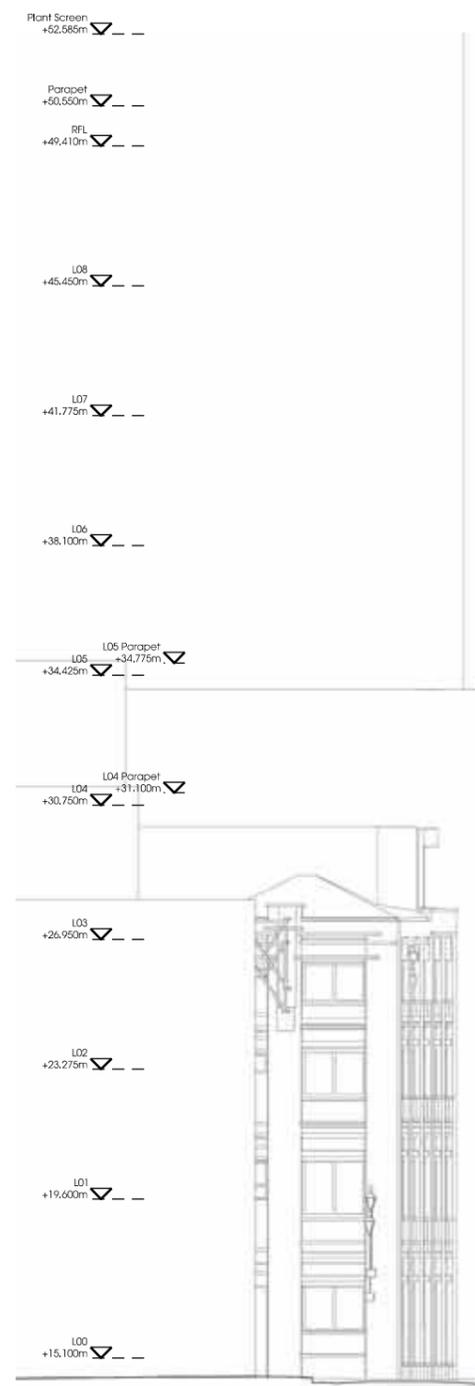
Material Key

- 1. Existing weathered brickwork
- 2. Reclaimed brickwork
- 3. New light brickwork
- 4. Fair faced concrete lintel
- 5. Metal panel
- 6. Metal framed glazing
- 7. Restored loading doors
- 8. New rooflights
- 9. New dormer windows
- 10. Roof to match existing
- 11. Existing roof
- 12. Glazed balustrade
- 13. Metal grille with projecting mullions
- 14. Metal cladding with projecting mullions
- 15. Glazed curtain walling with projecting mullions
- 16. Profiled new brick piers

Scale 1:200



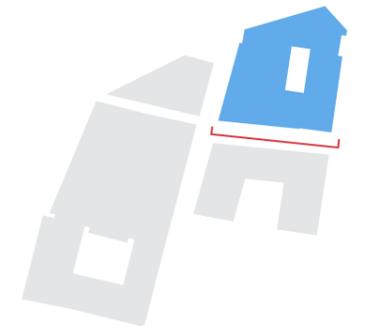
Elevations - East



- Material Key**
- 1. Existing weathered brickwork
 - 2. Reclaimed brickwork
 - 3. New light brickwork
 - 4. Fair faced concrete lintel
 - 5. Metal panel
 - 6. Metal framed glazing
 - 7. Restored loading doors
 - 8. New rooflights
 - 9. New dormer windows
 - 10. Roof to match existing
 - 11. Existing roof
 - 12. Glazed balustrade
 - 13. Metal grille with projecting mullions
 - 14. Metal cladding with projecting mullions
 - 15. Glazed curtain walling with projecting mullions
 - 16. Profiled new brick piers

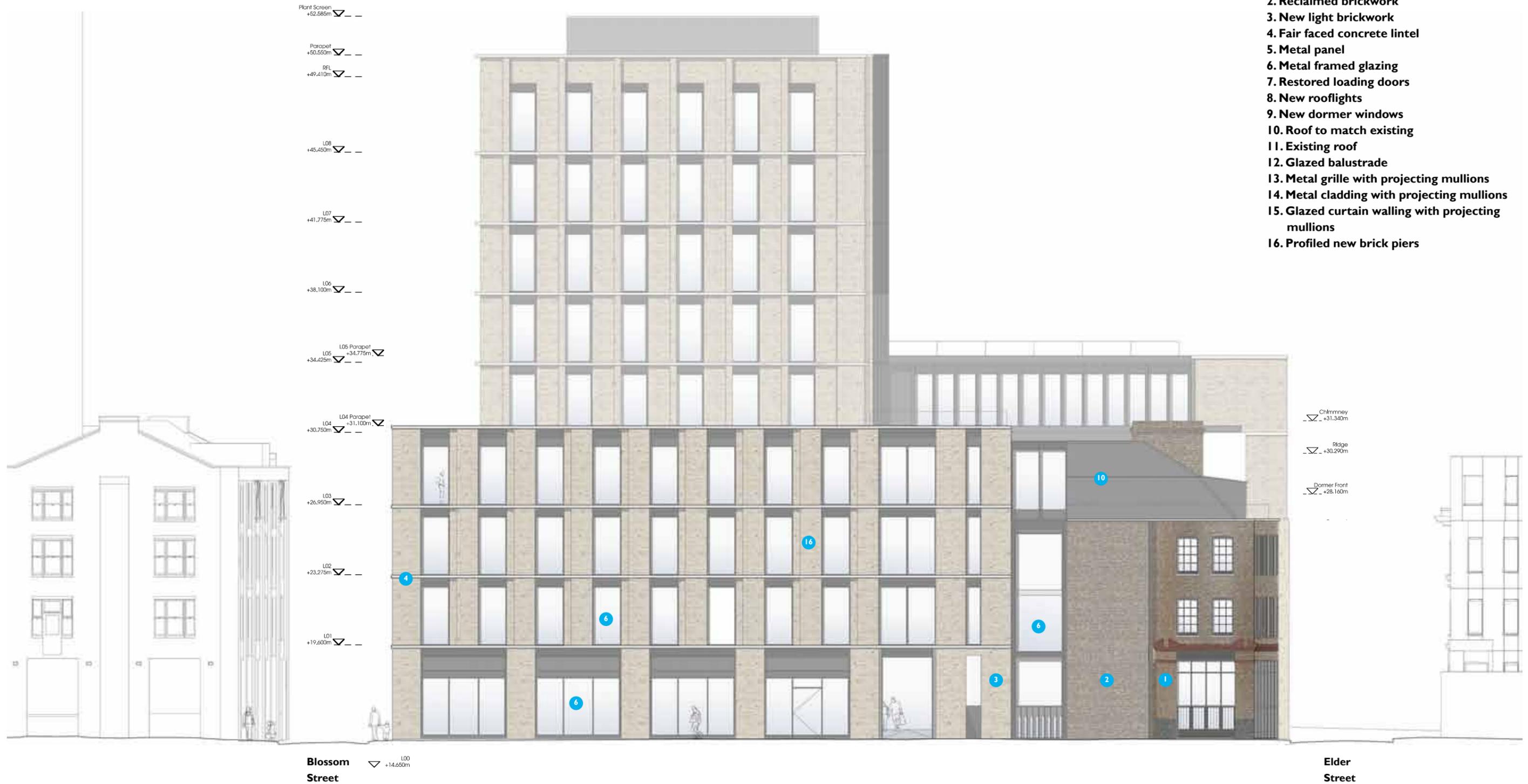
Scale 1:200

10.0 Plot S2



10.4.4 Scale / Appearance

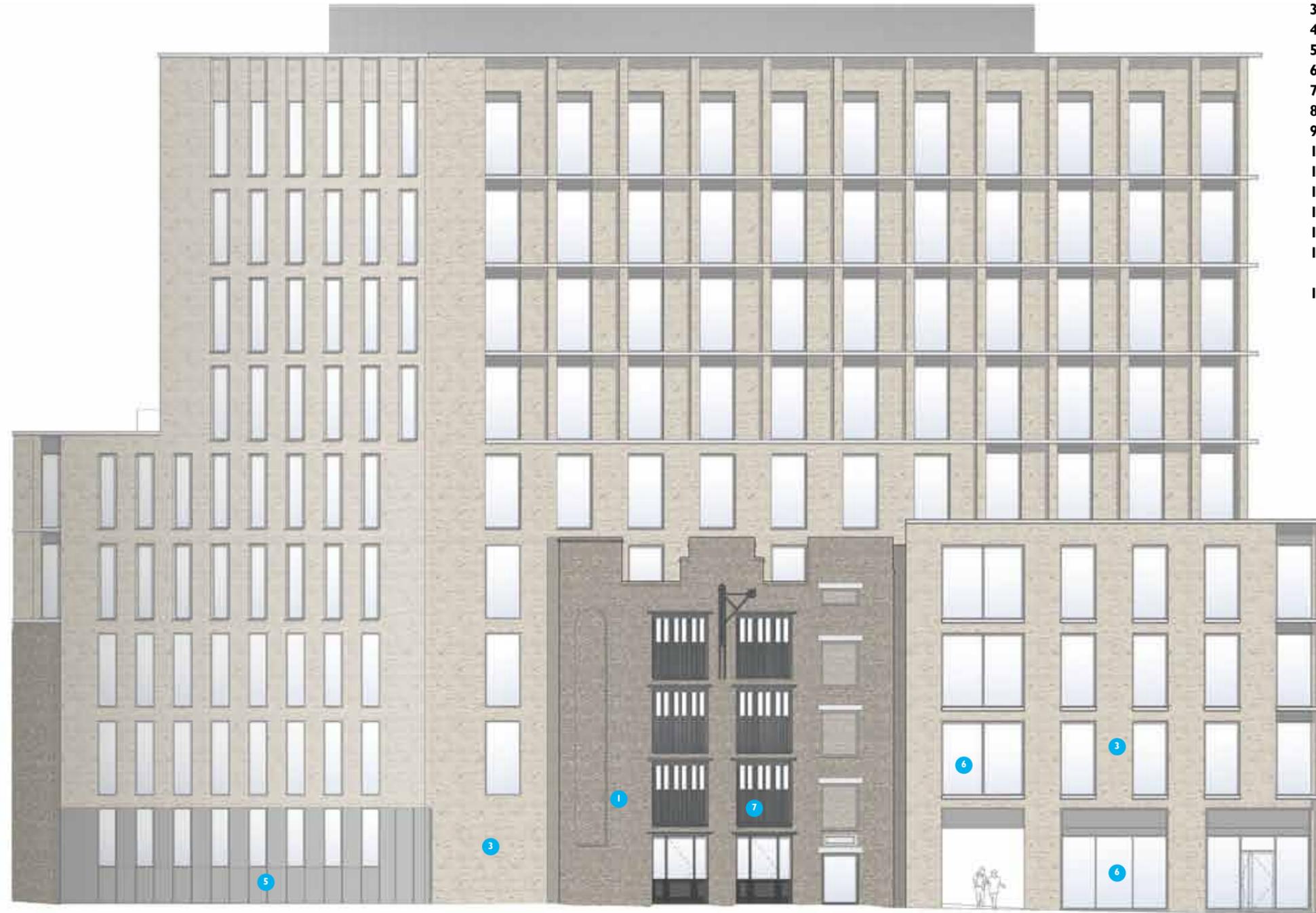
Elevation - South





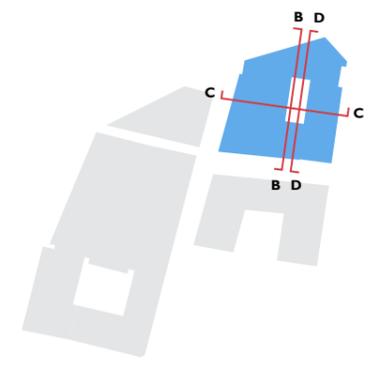
Elevation - West

- Plant Screen
+52.580m
- Parapet
+50.550m
- RFL
+49.410m
- L08
+45.450m
- L07
+41.775m
- L06
+38.100m
- L05 Parapet
L05
+34.425m
- L04 Parapet
L04
+30.750m
- L03
+26.950m
- L02
+23.275m
- L01
+19.600m
- L00
+15.100m



Material Key

1. Existing weathered brickwork
2. Reclaimed brickwork
3. New light brickwork
4. Fair faced concrete lintel
5. Metal panel
6. Metal framed glazing
7. Restored loading doors
8. New rooflights
9. New dormer windows
10. Roof to match existing
11. Existing roof
12. Glazed balustrade
13. Metal grille with projecting mullions
14. Metal cladding with projecting mullions
15. Glazed curtain walling with projecting mullions
16. Profiled new brick piers



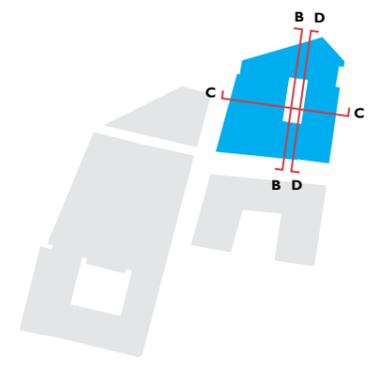
10.4.4 Scale / Appearance

Section - BB



Material Key

1. Existing weathered brickwork
2. Reclaimed brickwork
3. New light brickwork
4. Fair faced concrete lintel
5. Metal panel
6. Metal framed glazing
7. Restored loading doors
8. New rooflights
9. New dormer windows
10. Roof to match existing
11. Existing roof
12. Glazed balustrade
13. Metal grille with projecting mullions
14. Metal cladding with projecting mullions
15. Glazed curtain walling with projecting mullions
16. Profiled new brick piers



Section - CC

Plant Screen
+52,880m

Parapet
+50,550m

RFL
+49,410m

L08
+45,450m

L07
+41,775m

L06
+38,100m

L05 Parapet
+34,775m

L05
+34,425m

L04 Parapet
+31,100m

L04
+30,750m

L03
+26,950m

L02
+23,275m

L01
+19,600m

Blossom Street
+16,100m



- Material Key**
1. Existing weathered brickwork
 2. Reclaimed brickwork
 3. New light brickwork
 4. Fair faced concrete lintel
 5. Metal panel
 6. Metal framed glazing
 7. Restored loading doors
 8. New rooflights
 9. New dormer windows
 10. Roof to match existing
 11. Existing roof
 12. Glazed balustrade
 13. Metal grille with projecting mullions
 14. Metal cladding with projecting mullions
 15. Glazed curtain walling with projecting mullions
 16. Profiled new brick piers

Chimney
+31,340m

Ridge
+30,290m

Dormer Front
+28,160m

L03
+25,700m

L02
+22,490m

L01
+19,300m

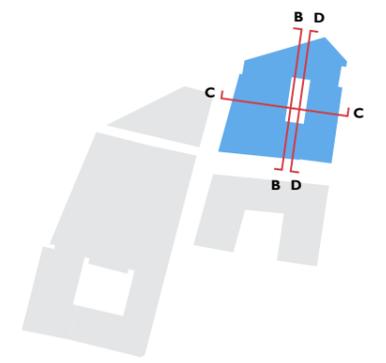
Elder Street
+15,600m

Scale 1:200

10.0 Plot S2

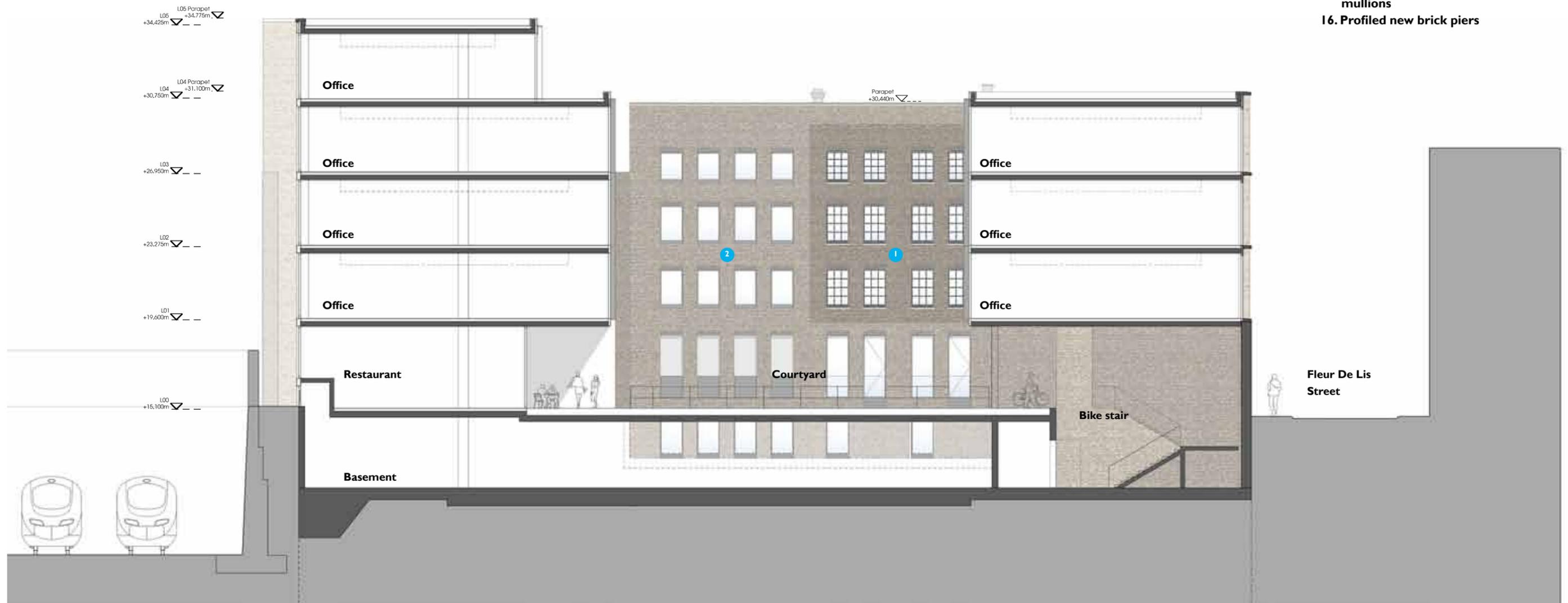
10.4.4 Scale / Appearance

Section - DD



Material Key

1. Existing weathered brickwork
2. Reclaimed brickwork
3. New light brickwork
4. Fair faced concrete lintel
5. Metal panel
6. Metal framed glazing
7. Restored loading doors
8. New rooflights
9. New dormer windows
10. Roof to match existing
11. Existing roof
12. Glazed balustrade
13. Metal grille with projecting mullions
14. Metal cladding with projecting mullions
15. Glazed curtain walling with projecting mullions
16. Profiled new brick piers





10.5 Inclusive Design

Please refer to Section 6.0 for more information about access and inclusive design.

10.6 Landscape

The following landscape and public realm proposals relate to S2 plot. For further details please refer to Section 5.0 Public Realm.

Access:

Public realm proposals have all been developed to improve access:

- The proposals tie in with the wider route network;
- The Western pavement of Blossom Street is proposed widened;
- The width of the footway on Shoreditch High Street is proposed increased while improving the loading bay and providing disabled parking;
- All paving to footways is proposed to be smooth, including where setts are used;
- Unused bays and vehicular crossovers are proposed removed;
- Unnecessary street furniture is proposed removed to reduce clutter.

It is proposed to change vehicular access to one-way operation on Fleur De Lis Street (entrance) and Blossom Street (exit). While reflecting the prevailing movement patterns this will enable traffic calming, the introduction of cycle parking in the carriage way and footway widening.

Blossom Street, Fleur De Lis Street and Elder Street:

At Blossom Street, Fleur De Lis Street and the Fleur De Lis Passage it is proposed to build upon the existing intimate and richly textured character of the streets, building on their industrial heritage and improving them as an attractive and unique pedestrian environment to support the proposed commercial and residential uses in the area.

The proposals for Blossom Street, Fleur De Lis Street, Folgate Street and the Fleur De Lis Passage include:

- Retained and repaired carriageway setts;
- Widened Western footway to Blossom Street with retained setts complemented by reclaimed setts laid to create a smooth accessible footway;
- York stone flags elsewhere; within the alley it is proposed to carefully relay the existing flags;
- Granite kerbs replaced with reclaimed kerbs as needed to adjust footway width, crossovers and bays;
- New granite quadrants at the Southern end of Blossom Street with inset reused bollards;
- Cycle parking on Fleur De Lis Street protected by kerb height granite pieces with inset reused bollards;
- Building mounted highway lighting is proposed where feasible, with existing historic luminaires repaired or matched.

On Elder Street pavements associated with the Blossom Street project are proposed relaid with York stone; reused as far as possible.

Blossom Street North and S2 passages:

The S2 yard is made-up of two spaces; the Northern yard space / end of Blossom Street and the interior passages and courtyard within the proposed S2 block. It is proposed to build on the existing material and spatial qualities of the Blossom Street yard to create a public space able to accommodate a variety of uses, including people spilling out from the proposed A3 uses on either side.

The proposals for the S2 yard and interior passages / courtyard include:

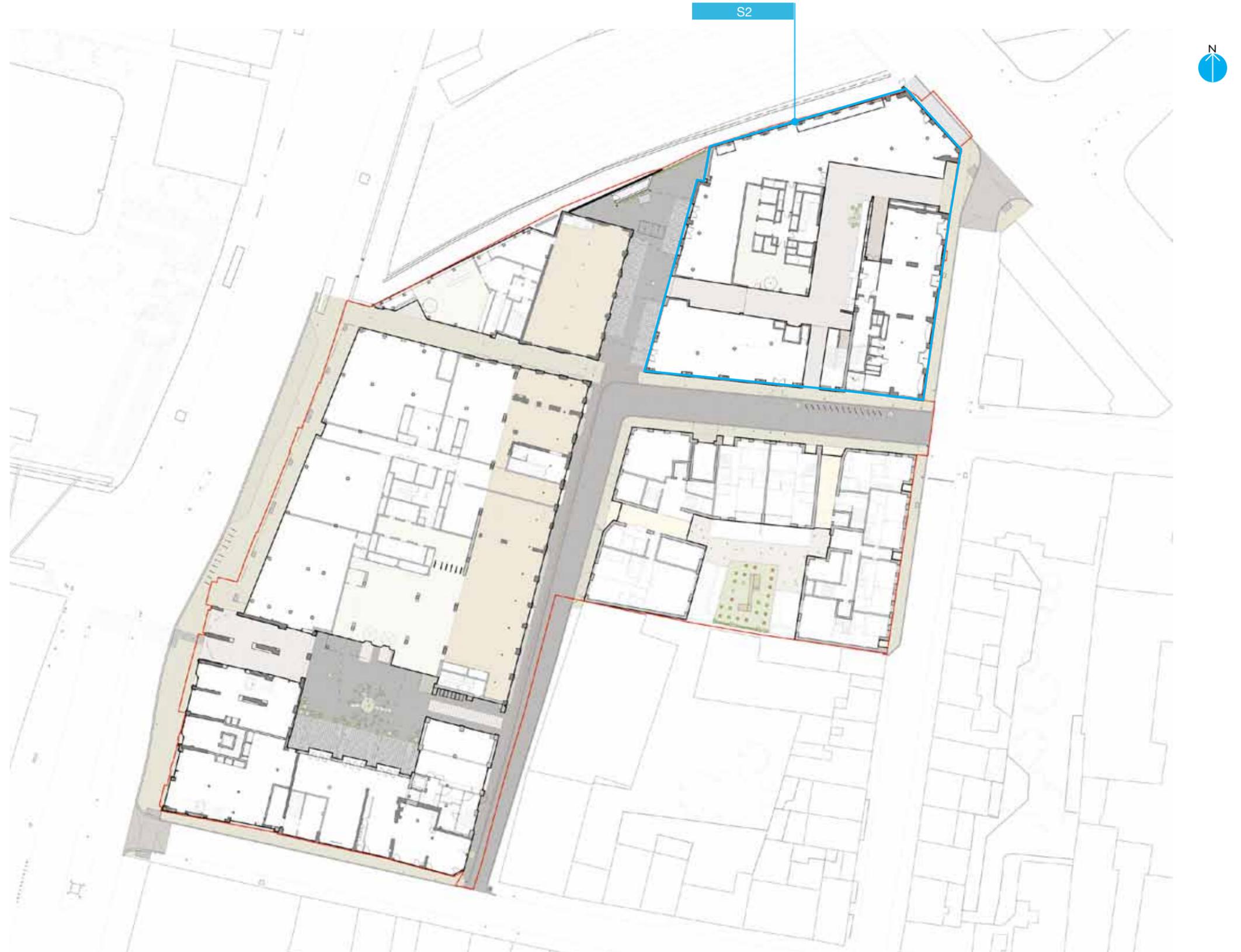
- Retained and reclaimed sett paving;
- 'Mats' of concrete with setts inlaid to provide seating areas;
- A new section of railway boundary wall;
- A planted screen to the railway boundary wall and basement proposed staircase enclosure;
- A piece of furniture for seating;
- Terrazzo tiles to the passages and interior courtyard;
- York stone flags extending the pavement on Elder Street into the passage off Elder Street

- Potted plants to the interior courtyard;
- Catenary lighting.

Outside the scope of this application it has been discussed with TfL that it would be beneficial to the wider area if TfL were to improve the raised table at the Northern end of Elder Street including increasing the pavement width at the Western side of the raised table through an adjustment to the kerb line

10.0 Plot S2

10.6 Landscape





Sedum Roofs

Sedum roofs are proposed on 4th and 5th floor influenced by Sites that are left that begin to be reclaimed by nature. Wild green sedum type plants are proposed within an extensive roof zone. Beneath the green roof, a layer is proposed to attenuate rainwater from the roofscape. The planted roof level carries across the Site at the 4th storey providing hidden private terraces away from the streetscape but visually connecting at this key datum.

Brick Terraces

The surface is informed by the brick materiality of the building. Loosely laid bricks with open joints, seeming to be part of the landscape provide a sense of the reclaimed natural landscape.



Roof plan



Indicative sedum roof section



NYC High Line

