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11.0 Plot S3

11.1 Introduction

Plot S3 is in the heart of the master plan. Plot S3 sits at the Northern end of an urban block of varied character. The Plot has frontage on to:

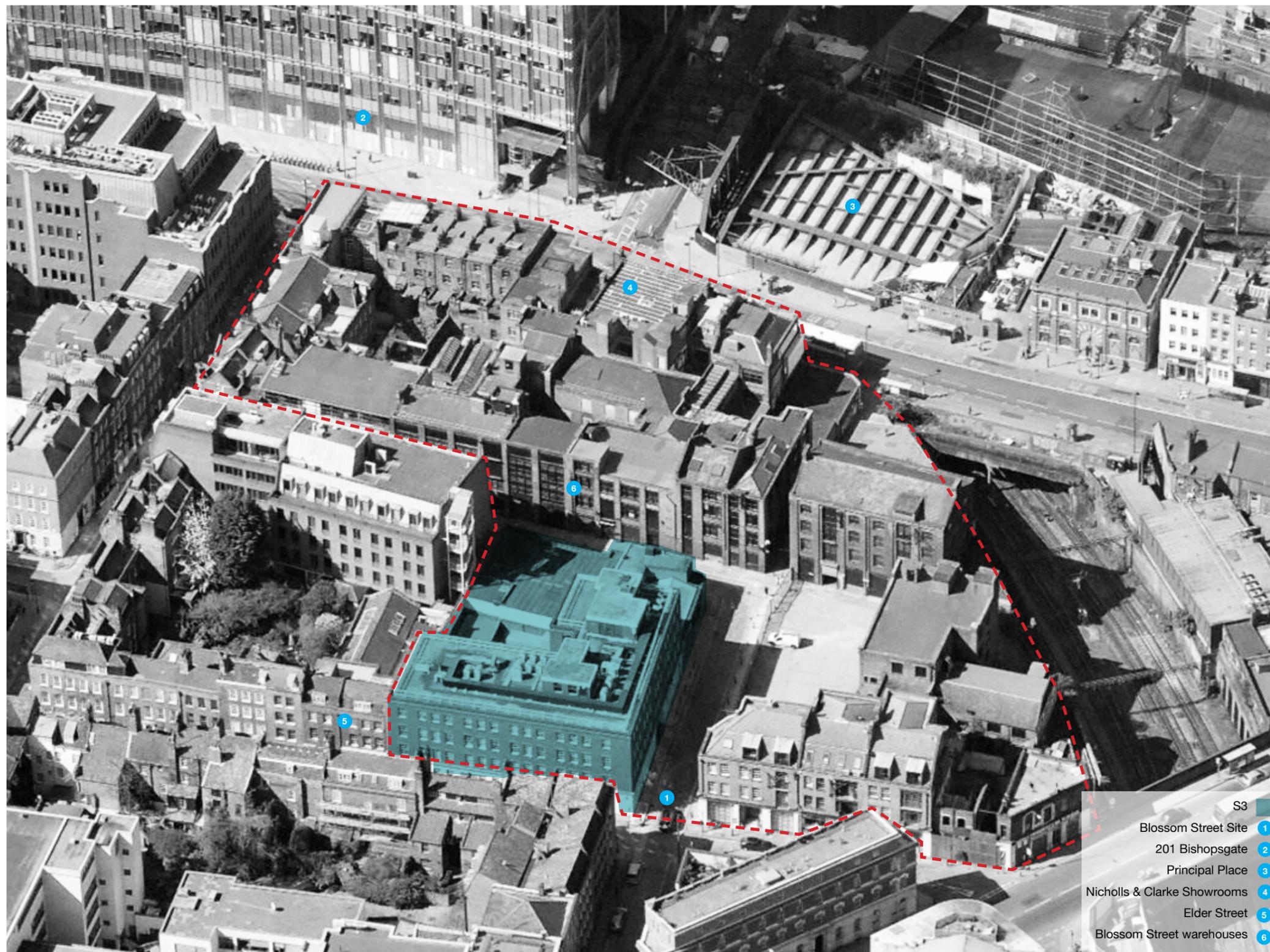
- Elder Street to the East; a street of fine three and four storey terraced houses originally constructed in the early part of the 18th century often in pairs. These are listed, and are central to the Conservation Area for the degree of survival of 18th century fabric.
- Fleur De Lis Street to the North; the Southern side of the street consists of four storey residential and office buildings some of which are more recent additions constructed in brick in a style sympathetic to the Conservation Area. To the North Plot S3 faces the flank elevation of the Elder Street warehouses and a partly vacant Site which would be occupied by the proposed building on Plot S2.
- Blossom Street to the West; the plot faces the existing Victorian Blossom Street warehouses and neighbours a five storey hotel building to the South.

The existing buildings on the Plot (as shown on the adjacent aerial photograph) consist of Loom Court, a four storey office building, constructed in the 1970's in a neo-Georgian style and a one to two storey brick depot building of industrial character.

The footprint of the Plot defines the South-East edge of the Blossom Street development and mediates between the early Georgian residential character of Elder Street to the East and the later Victorian warehouse character of Blossom Street to the West.

The proposal is for the demolition of the existing buildings on the Plot to be replaced by a residential building with 40 apartments. The building will be in a U-shape wrapping around the edges of the Site enclosing a courtyard in the centre for the use of residents.

Beneath the building and courtyard a basement level comprising car parking, cycle parking, M+E plant and ancillary spaces is proposed.



Aerial photograph looking West of the existing Site



11.2 Existing Buildings

The Plot is relatively flat with a change in level of 0.2m from North to South and 0.3m from East to West. It is currently occupied by two existing buildings:

- Loom Court is an L-shaped building that wraps along Elder Street and Fleur De Lis Street. It was constructed in the early 1970's to replace the Weaver's houses that had previously occupied the Site. It is a four storey office building of concrete frame construction clad at ground floor in stucco and at upper levels in red brickwork. Timber sash windows punctuate the facade in a regular arrangement grouped generally into threes. The building has a constant parapet height and regular elevation treatment that give it a monolithic appearance. The main pedestrian entrance is at ground floor level towards the North of the Elder Street elevation close to the corner with Fleur De Lis Street. There is a secondary entrance/ fire escape door to the Southern end of the elevation. Vehicular Access to the Site is through a gated arched opening in the North elevation fronting Fleur De Lis Street. This arch allows vehicles to pass beneath the building to an area of hard standing to the rear. Loom Court has a neutral impact on the Conservation Area.
- The Depot building occupies the West side of the Site with frontage to Fleur De Lis Street and Blossom Street. It is a two storey building of brick construction with large shuttered openings to Fleur De Lis and Blossom Street. The building is currently in use as a photographer's studio. The Depot has a negative impact on the Conservation Area.
- The carriageway to Elder and Fleur De Lis Streets is listed.

The Site currently has planning permission granted in 2011 (PA/10/02764). The scope of the consented scheme relates to Plot S3 is as follows:

- Demolition of the existing building on the Depot Site bounded by Blossom Street and Fleur De Lis Street.
- Construction of a new five storey office building of contemporary appearance.
- The East side of the Site where the existing Loom Court building is located is not part of the existing planning consent.



View of Loom Court looking West on Fleur De Lis Street



The existing Depot Site frontage to Blossom Street



View of the consented design for the Depot Site



Looking North up Elder Street with Loom Court on the left

11.0 Plot S3

11.3 Evolution of Design

The evolution of the design for S3 has been driven by a developing understanding of the Elder Street Conservation Area context. Throughout the process a series of consultations with local interest groups and design review panels has been undertaken. Feedback from these consultations has informed the design.

At the heart of the proposal is the need to provide a variety of high quality residential accommodation within the development while maintaining the massing and an elevational appearance in keeping with the context.

A feasibility proposal was developed towards the end of 2013 seeking to establish an appropriate massing for the scheme. This massing was then developed to show an indicative elevation treatment. This process is described in the images to the right.

In June 2014 the scheme was presented to a number of design review panels and local interest groups including, CABE, CADAP, the Spitalfields Trust, Spitalfields Society, and Spitalfields Community Group. In addition, a public consultation was held for local residents and interested parties.

The response to the proposal at this stage was mixed. A selection of these comments are summarised below:

- The buildings on Plot S3 begin to show an architectural idea and we encourage the design team to develop this concept further. Currently the proposed elevations are too reserved and bland. Variation and articulation should be proposed to soften the frontage. [Design Council - July 2014]
- The development of the residential terrace proposed to Elder Street should be bolder in responding to the acknowledged vertical subdivision of the existing architecture. [CADAP - June 2014]
- The argument that the scheme incorporates individual entrances should be applied to the residential scheme as a whole, with more individuality and expression of the different room's uses and ownerships evident along the rest of the street. [CADAP - June 2014]
- In general, there is broad based support for returning the property to residential use. Due care and attention should be given to the historic precedents for the plot with elevations designed accordingly and in keeping with the remaining Grade 2 listed properties on Elder Street. [Spitalfields Society - August 2014]



December 2013
Massing studies to establish appropriate massing of the building in the context of the surrounding streets and the existing buildings on Site.



January 2014
Feasibility Study - Early stage development of elevation treatment.



June 2014
Scheme presented to: Tower Hamlets, CADAP, Design Council Round table Public Consultation, GLA





Response to Consultation

Following the consultation in July of 2014, the design was revisited both to respond to the comments and to develop the design of the street elevations to ensure that the S3 building knits into its context as successfully as possible.

To inform this a thorough analysis of the existing buildings on Elder Street was undertaken to ensure that the proposed elevations to S3 were appropriately proportioned detailed and designed.

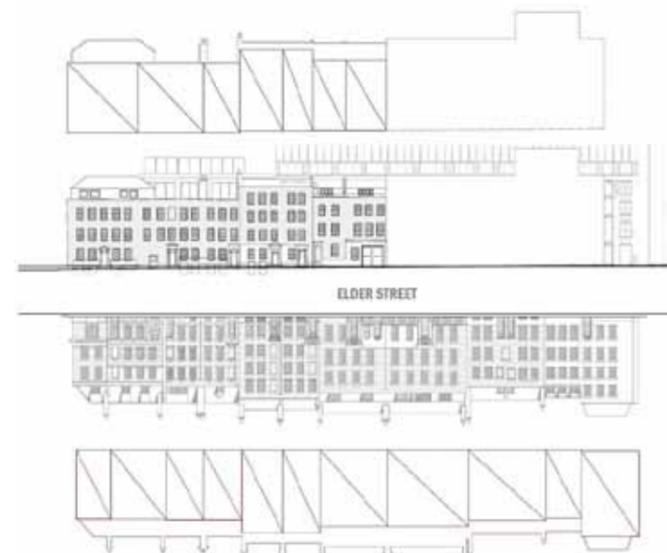
This analysis looked at building widths and proportions, front doors and windows, brickwork and historic images of the buildings on the plot and surrounding streets.

The image to the right of a typical house on Elder Street illustrates how the Elder Street elevations to plot S3 aims to follow many of the rules and incorporate many of the features of the Georgian Architecture of Elder Street. As highlighted there are some features common to these buildings that are difficult to justify due to changing Building Regulations and improving attitudes to equality.

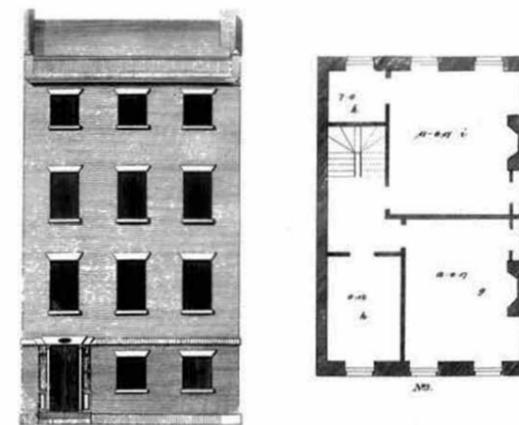


- | | |
|--|--|
| 1 Expressed coping to parapet | 10 No fireplaces - chimneys not required |
| 2 Grey/white sash windows with expressed sills | 11 Windows must comply with modern Part L standards and provide enough daylight to units |
| 3 Grouping of windows into three's and five's | 12 Guarding required for protection from falling - Bottom half of sash opening can be restricted |
| 4 Quoining around window openings | 13 Deeper reveal required for doors to comply with Lifetime Homes |
| 5 Vertical proportion of windows | 14 Level threshold required for equality of access |
| 6 Plum coloured stock brick [variety of colours across Elder Street facades] | 15 Basement window lights not required |
| 7 Use of glazing bars to breakdown glazing | 16 Light well at pavement edge not possible due to Site ownership boundary. |
| 8 Expressed door sets to mark front doors | |
| 9 Metalwork railing and detailing | |

Georgian Elevation - Elder Street Analysis



Analysis of building widths on Elder Street



Rational window positioning in Georgian Architecture



Front doors on Elder Street



Collage showing 14-16 Elder Street circa 1964



Variety of sash windows on Elder Street



View West along Fleur De Lis Street towards Blossom Street

11.0 Plot S3

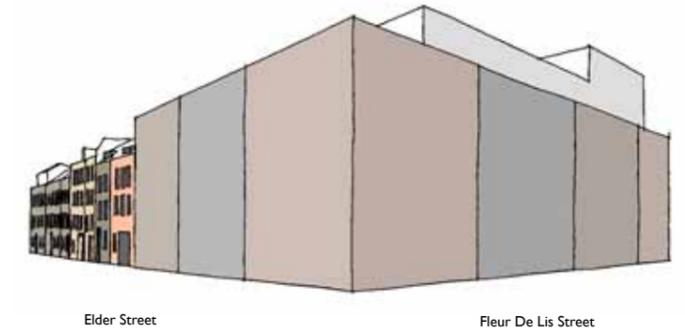
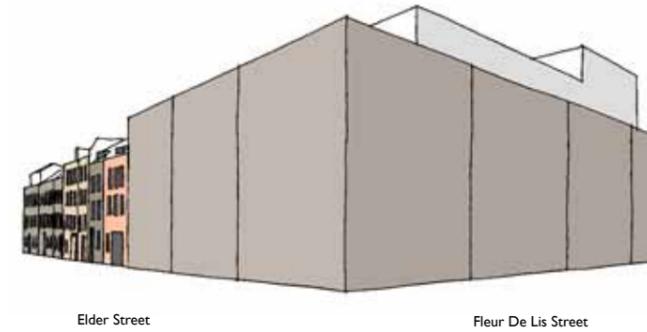
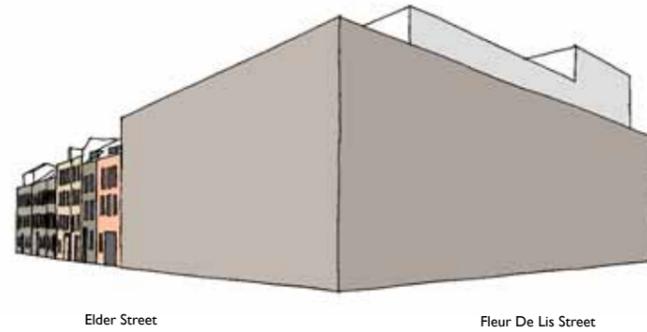
The Design Process

The diagrams and images to the right describe the development of the design concept for the street facing elevations to plot S3. The building responds to the differing character of Elder Street, Fleur De Lis and Blossom Street.

In the Georgian terraced houses on Elder Street there is a clear vertical expression which is a product of the party walls between houses. The vertical emphasis is amplified by the portrait orientation of the windows and the differing floor to ceiling heights between buildings. A number of the existing houses were built together in pairs, and this is evident in the number of buildings which appear to have a frontage five windows wide.

The proposal for residential accommodation at S3 comprises lateral apartments rather than vertical town houses. In order to give the appearance of divisions between buildings the party wall lines between units are expressed vertically on the facade replicating the divisions that are apparent on the rest of the street.

The position of the vertical divisions on the proposed facade are emphasised by ensuring that the parapet line is varied helping to break down the mass of the building when viewed from the street. This reflects the historic pattern of building on Elder Street where houses were built at different times for different people with different tastes and budgets. This variation is evident in the different sizes and detailing on the existing buildings. The change in parapet line proposed on Elder Street is expressed as a mansard roof with dormer windows similar to those on the Elder Street warehouses at the North end of the street.



Building Mass

The proposed massing is set by the existing Loom Court building on the plot and the consented scheme on the Site of the depot.

The parapet level proposed to Elder Street is the same as or lower than the parapet of the existing building on the Site.

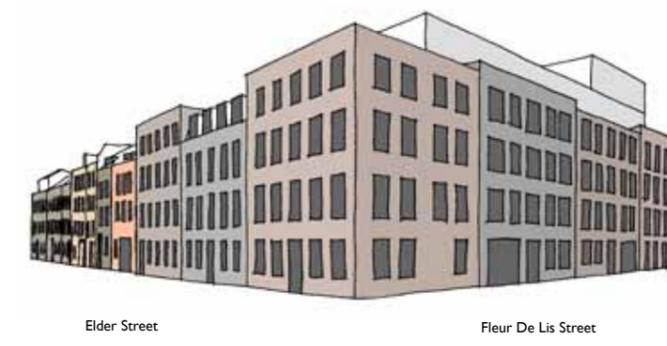
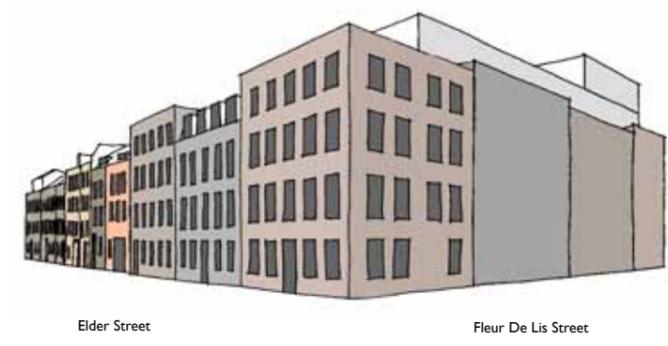
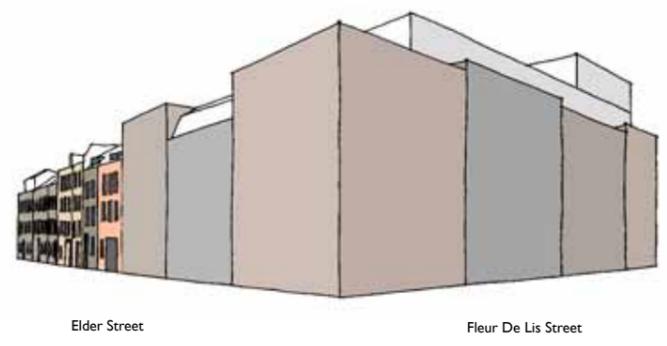
Vertical Divisions

Vertical divisions have been introduced to break up the mass and express the building as a number of smaller buildings, or bays, rather than a single mass.

The location of these divisions defines the party walls to apartments internally and responds to the widths of existing buildings on Elder Street.

Variation in Materials

Each of the bays will use brickwork and detailing in different ways to respond to the immediate context and ensure that there is variation to each of the elevations.



Varied Parapet Heights

Informed by the variety of parapet heights that exist on Elder Street, the parapets to each of the bays will be varied to create clear definition between them.

On Elder Street the parapet to the central bay is dropped to create a mansard roof and reduce the overall mass of the building. On Fleur De Lis Street and Blossom Street it is raised to some bays to define terraces to the units at fourth floor.

Elder Street Window Proportion

The bays facing Elder Street take their window proportions from the Georgian buildings on the street.

Windows are rationally positioned to reflect the internal arrangements of the apartments behind creating a composition of three five window wide houses in common with many of the existing buildings on Elder Street.

Fleur De Lis

Historically the buildings on Fleur De Lis Street have had a different character to those on Elder Street. The photograph above shows the later Georgian/early Victorian appearance of the buildings that occupied the Site prior to the construction of Loom Court in the 1970's. The window sizes are less regular than buildings of the Georgian era with a double width module introduced. It is notable that the expression of front doors in the facade is less exuberant than on the earlier Elder Street properties.

The proposed S3 elevation on Fleur De Lis Street looks to reflect this change in character by introducing larger windows to the apartments located here. This also has the purpose of improving the day lighting levels to the North facing rooms on this elevation.

Blossom Street

At the West end of Fleur De Lis Street are the Blossom Street Warehouses and these give Blossom Street a different character again. The design of the S3 elevations facing this side of the Site is designed to mirror the appearance of the Victorian warehouses with a contemporary interpretation of the aesthetic drawing upon the expressed vertical brick piers and large expanse of windows. The increased window size here is necessary to maximise daylight to rooms facing Blossom Street where the conditions are more challenging.

11.0 Plot S3

Design Concept

As described in the previous sections, the design of the street elevations to S3 has been informed by the immediate context in which they are located. The character of Elder Street, Fleur De Lis and Blossom Street varies from early Georgian townhouses to Victorian warehouse buildings.

This variety is echoed in the proposed elevations with a subtle but noticeable change in the appearance of each of the bays from the Georgian proportions and brickwork detailing on Elder Street through to the vertical emphasis and brick piers of the Blossom Street warehouses.

The images and unwrapped elevation to the right show the relationship between the three streets and the proposed elevation.



Georgian townhouses on Elder Street



Historic photograph of buildings on Fleur De Lis Street



Warehouses on Blossom Street give it a different character



Unwrapped elevation showing the changing response to context of the S3 elevations on each street



Consultation

The design has been presented to consultees throughout the process and has evolved to respond to the comments provided. Comments have generally been related to the design of the Elder Street elevation as described on the next pages.



July 2014
Scheme presented to:
Tower Hamlets, CADAP, Design Council, Round table Public Consultation, GLA



August 2014
Scheme presented to:
Tower Hamlets, Round table Public Consultation, GLA, Public Exhibition, Spitalfields Trust, Spitalfields Society, Spitalfields Community Group



October 2014
Scheme presented to:
Tower Hamlets, CADAP, Elder Street Residents, Spitalfields Trust

11.0 Plot S3

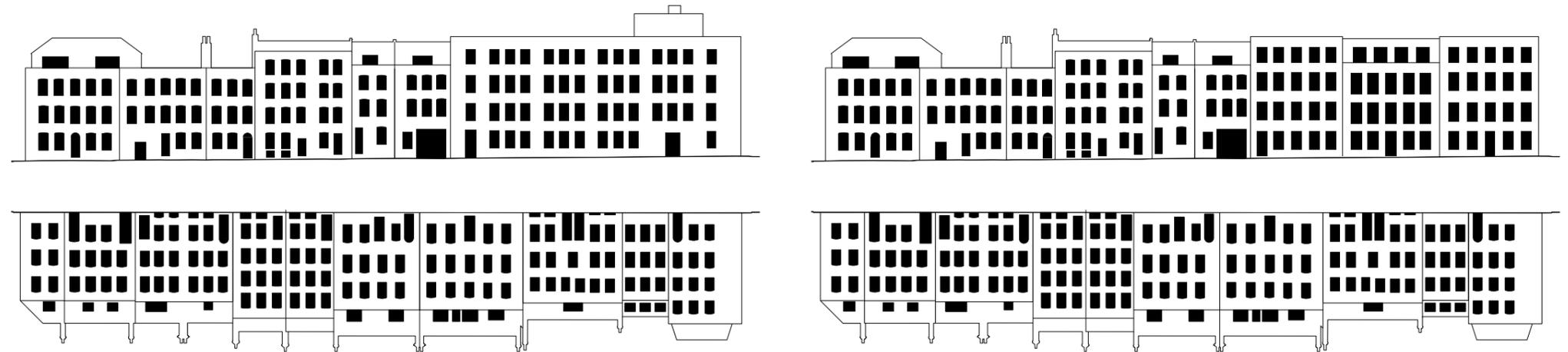
Elder Street

The issues raised by the Spitalfields Trust, Spitalfields Society and Spitalfields Community Group and Elder Street Residents can be summarised as follows:

- Building divisions should be expressed vertically to respond to those of the existing buildings on Elder Street.
- The size and proportion of windows should match those on the existing buildings on Elder Street.
- Brickwork detail and bonding is critical.
- Detailing of windows as timber sashes.
- Materials to the mansard roof.
- Rainwater downpipes should be included on the elevations.
- Juliet balconies in front of some windows above ground floor is incongruous with the existing buildings.



Elder Street - Existing elevations



Building width and window size analysis - Existing

Building width and window size analysis - Proposed



The design has been an iterative process carried out in close consultation with local community groups.

In response to this, the design team has placed an increased focus on this side of the building in order to ensure that the proposed elevation integrates successfully with the Georgian street. The design of the elevation has been developed to:

- Break down the mass of the building with the use of vertical divisions to express party walls between apartments and give the appearance of a series of smaller buildings similar in width to the existing paired houses on Elder Street.
- Rationally locate windows related to the party walls and the internal arrangements of the apartments behind replicating the rational plans and proportions of the Georgian houses.
- Vary the parapet height to emphasise the divisions between buildings with the use of a mansard roof and dormer windows to the central bay.
- Punctuate the elevation with front doors at ground floor to give variety at street level.
- Adopt the Georgian proportion of windows that is prevalent in the Elder Street Conservation Area.
- Utilise sash windows in keeping with the existing buildings on the street.
- Omit juliet balconies from upper floor levels on Elder Street.
- Vary window sill and head heights to differentiate between the three bays of the proposed buildings and respond to the function and daylight requirements of the rooms behind.
- Decrease the size of windows at top floors where daylight is best to recreate the vertical order of Georgian buildings.
- Recreate the decorative brickwork around windows that is frequently seen on the neighbouring buildings.
- Vary the brickwork used for each bay laid in a Flemish/English bond.



Proposed Elder Street elevation development - July 2014



Proposed Elder Street elevation development - August 2014



Proposed Elder Street elevation development - September 2014



Proposed Elder Street elevation development - September 2014



Proposed Elder Street elevation

11.0 Plot S3

Courtyard

The elevation treatment to the courtyard is a response to the need to maximise daylight to the units and create a pleasant space for residents at the heart for the scheme.

The courtyard elevation was tested with outboard and inboard balconies and the design team concluded that inboard balconies gave better privacy between units and also allowed for improved daylight to the units.

A series of elevation studies were carried out to test materials and window sizes. It was decided that timber would be the most appropriate cladding material as it fits with the local vernacular with some of the rear elevations to the existing properties to Elder Street having areas of timber cladding.

Generously sized windows frame view and maximise daylight to the rooms arranged around the courtyard.



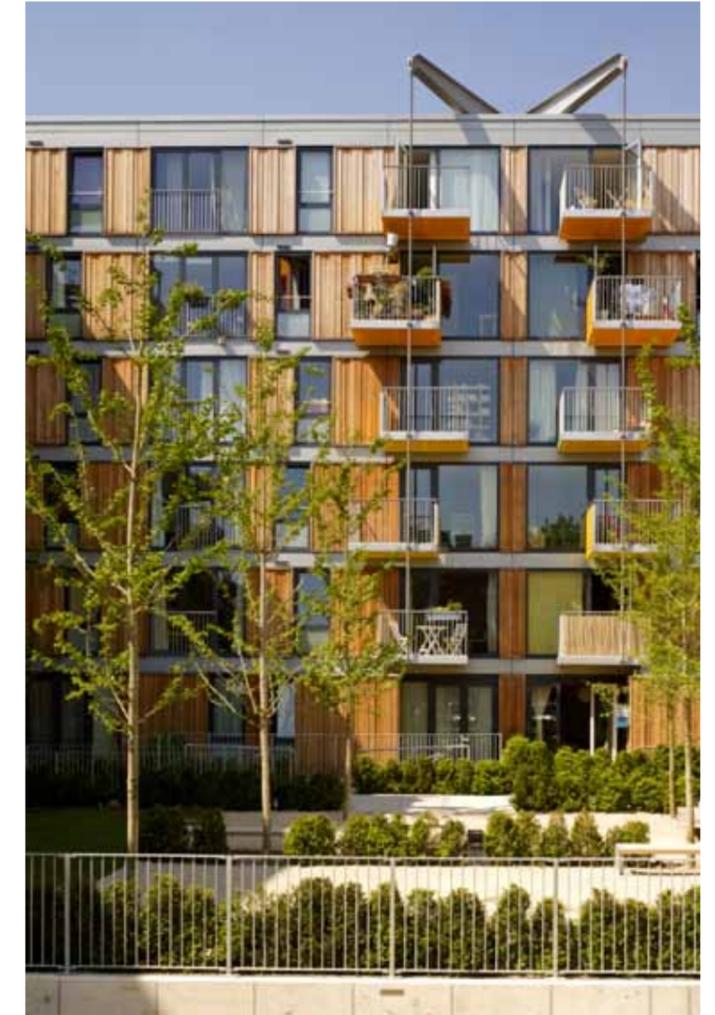
Elder Street - Rear Facades clad with timber



Testing Outboard Balconies



Testing Inboard Balconies



Adelaide Wharf London - AHMM



Testing brick cladding to the courtyard



Staggering of solid and glazed



Brighton College - Allies and Morrison



Set-back Top Floors

The set-back fourth and fifth floor levels are conceived as a lightweight addition to the brick building below and will be expressed as such. A series of elevation studies were carried out to test materials that could be used.

The elevation treatment selected utilises large picture windows and corner windows to frame views with timber cladding between. The timber cladding will be stained black to diminish the mass of the building and clearly differentiate the top floors from the brick elevations below and the courtyard elevations.

The mass of the top floors is sculpted to create private terraces at both fourth and fifth floor levels.



Early study - Curtain walling system



Early study - Horizontal emphasis



Early study - Light coloured brickwork



Early study - Fins with picture windows



View of top floors from parapet level showing variation in buildings and treatment of facades



View from the North end of Blossom Street testing massing



Oaklands College - AHMM



Stained black timber with battens - Open AD

11.0 Plot S3

11.4 Proposed Scheme

11.4.1 Land Use

The proposed development for Plot S3 is predominantly residential in use.

It also accommodates a small A1 commercial unit at ground floor in the North West corner of the Plot at the junction of Fleur De Lis Street and Blossom Street.

Cycle and car parking for residents are located at lower ground floor which also contains some plant space to serve the development. Refuse stores are located at ground floor.

Accommodation is accessed from the three entrances to the street and these are connected by the courtyard.

11.4.2 Amount of Development

Plot S3 accommodates a total of 6,811sqm Gross External Area (GEA).

This area is split between uses as listed below:

Residential

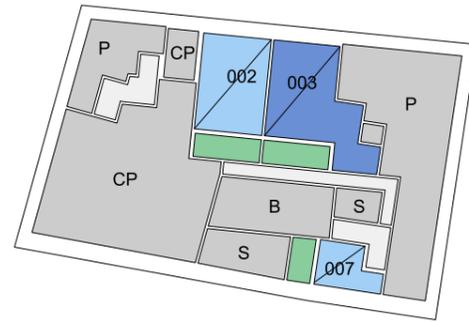
6,708sqm GEA split as follows

1 Bed	x	10 Units
2 Bed	x	22 Units
3 Bed	x	8 Units

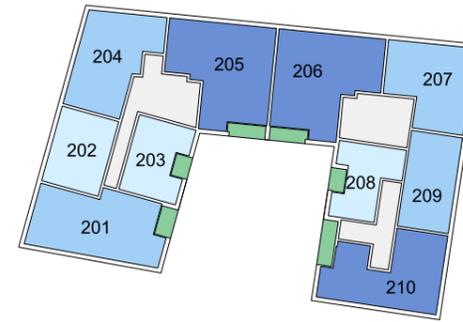
Total 40 Units

Commercial

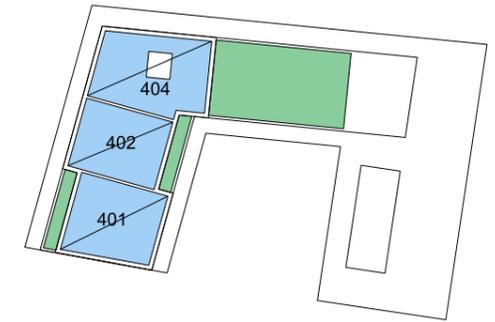
A1 = 103sqm GEA



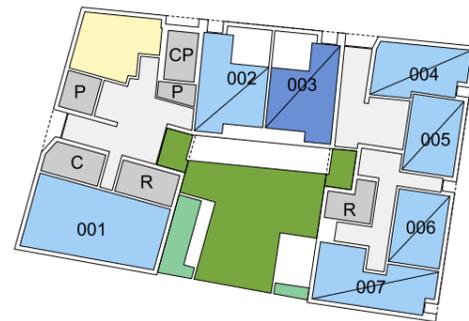
Lower Ground Floor



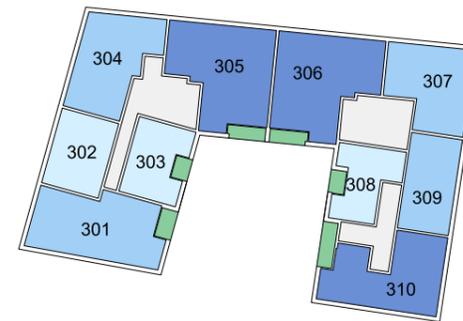
Second Floor



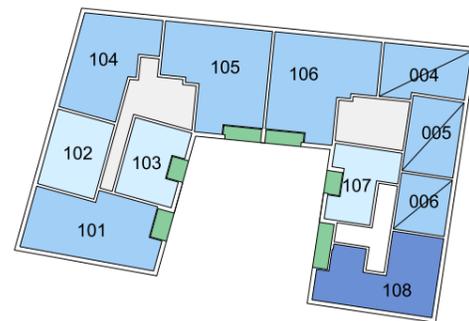
Fifth Floor



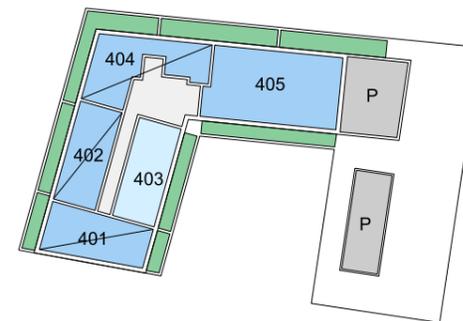
Ground Floor



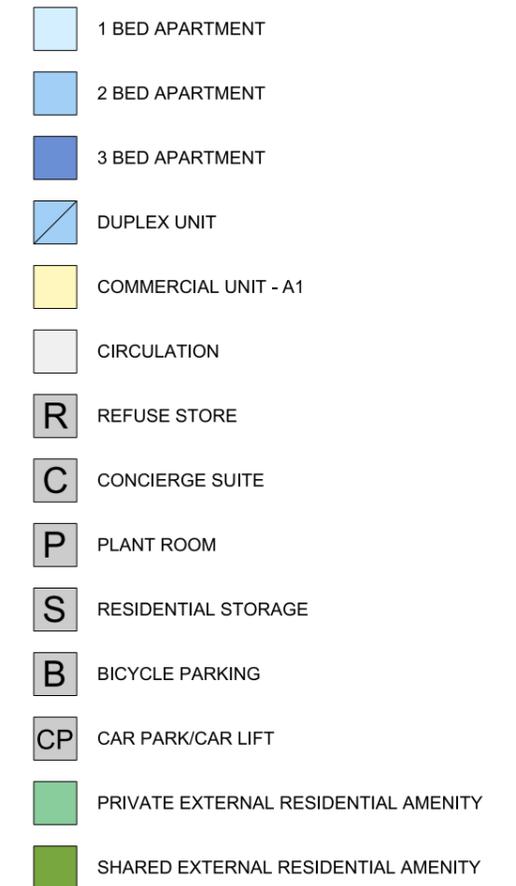
Third Floor



First Floor



Fourth Floor



Key





The schedule (right) lists the apartment sizes and types.

Residential accommodation has been designed in accordance with the London Housing Design Guide and Lifetime Homes Standards. Wheelchair adaptable units make up 10% of the total split across tenure. Wheelchair units are accessed at Ground Floor level.

Affordable Housing will be provided on Site. Units allocated for affordable rent and intermediate tenure are indicated in the schedule (right).

Unit No	Unit Type	NIA(m2)	Tenure	Amenity Type	Amenity Area (m2)	Comments	Dual Aspect	Habitable Rooms
Ground Floor								
001	2B4P	126	Private	Terrace	20	Wheelchair Unit	Yes	3
002	2B4P	158	Private	Balcony and Terrace	26	Wheelchair Unit/Duplex to Lower Ground Floor	Yes	3
003	3B5P	186	Private	Balcony and Terrace	26	Wheelchair Unit/Duplex to Lower Ground Floor	Yes	4
004	2B4P	118	Private	-	-	Duplex to First Floor	Yes	3
005	2B4P	102	Affordable Rent	-	-	Wheelchair Unit/Duplex to First Floor	No	3
006	2B4P	87	Affordable Rent	-	-	Duplex to First Floor	No	3
007	2B4P	110	Private	Terrace	19	Duplex to Lower Ground Floor	Yes	3
First Floor								
101	2B4P	110	Private	Balcony	6		Yes	3
102	1B2P	61	Private	-	-		No	2
103	1B2P	57	Private	Balcony	5		No	2
104	2B4P	93	Private	-	-		Yes	3
105	2B4P	123	Private	Balcony	7		Yes	4
106	2B4P	123	Private	Balcony	7		Yes	4
107	1B2P	51	Affordable Rent	Balcony	5		No	2
108	3B5P	98	Affordable Rent	Balcony	9		Yes	5
Second Floor								
201	2B4P	110	Private	Balcony	6		Yes	3
202	1B2P	61	Private	-	-		No	2
203	1B2P	57	Private	Balcony	5		No	2
204	2B4P	93	Private	-	-		Yes	4
205	3B5P	123	Private	Balcony	7		Yes	4
206	3B5P	123	Private	Balcony	7		Yes	3
207	2B4P	87	Private	-	-		Yes	3
208	1B2P	51	Intermediate	Balcony	5		No	2
209	2B3P	67	Intermediate	-	-		No	3
210	3B5P	98	Affordable Rent	Balcony	9		Yes	5
Third Floor								
301	2B4P	110	Private	Balcony	6		Yes	3
302	1B2P	61	Private	-	-		No	2
303	1B2P	57	Private	Balcony	5		No	2
304	2B4P	93	Private	-	-		Yes	3
305	3B5P	123	Private	Balcony	7		Yes	4
306	3B5P	123	Private	Balcony	7		Yes	4
307	2B4P	87	Private	-	-		Yes	3
308	1B2P	51	Intermediate	Balcony	5		No	2
309	2B3P	67	Intermediate	-	-		No	3
310	3B5P	98	Affordable Rent	Balcony	9		Yes	5
Fourth Floor								
401	2B4P	154	Private	Terrace	33	Duplex to Fifth Floor	Yes	3
402	2B4P	144	Private	Terrace	25	Duplex to Fifth Floor	Yes	3
403	1B2P	59	Private	Terrace	15		No	2
404	2B4P	175	Private	Terrace	170	Duplex to Fifth Floor	Yes	3
405	2B4P	129	Private	Terrace	55		Yes	3

11.0 Plot S3

11.4.3 Layout

Ground Floor Plan

The plan of the building is designed to wrap the Plot edge on Elder Street, Fleur De Lis and Blossom Street and to complete the urban block enclosing a courtyard for residents at the centre.

At ground floor there are three residential entrances accessed from each side of the development which link through to the three vertical circulation cores and on to the courtyard.

This landscaped courtyard includes provision for shared child play space, shared private amenity and private residential terraces to ground floor units.

In addition to the three residential entrances there is a vehicle entrance that gives access to a car lift and parking spaces at lower ground floor.

Most of the street frontage at ground floor is lined with residential accommodation with dual aspect and duplex units used to maximise privacy to living spaces from the pavement. There are front doors to residential duplex units on Elder Street and Fleur De Lis Street.

The North-West corner of the building contains a proposed retail unit for A3 use.

Refuse stores are accessed from the courtyard with bins taken to the street for collection on Fleur De Lis Street through entrance 2.

- Residential entrance 1 ①
- Residential entrance 2 ②
- Residential entrance 3 (Affordable) ③
- Residents courtyard ④
- Private terrace ⑤
- Refuse store ⑥
- Front door to apartment ⑦
- Car lift ⑧
- Retail unit ⑨
- Stair and lift core ⑩





Lower Ground Floor Plan

The lower ground floor contains the lower level of three duplex units accessed at ground floor. These units face out onto private sunken terraces at the North and East edges of the courtyard. Example layouts and precedent images can be found in the next section - Typical Unit Layouts.

Beneath the West side of the building are a total of seven car parking spaces, two of which will be allocated for Blue Badge holders. These spaces are accessed by car lift from ground floor.

There is also bicycle parking and residential storage space located beneath the courtyard.

Around the edges of the lower ground floor are a series of plant rooms that service the building.



- 1 Sunken private terrace
- 2 Car park
- 3 Car lift
- 4 Residential storage
- 5 Plant room
- 6 Bicycle store
- 7 Stair and lift core

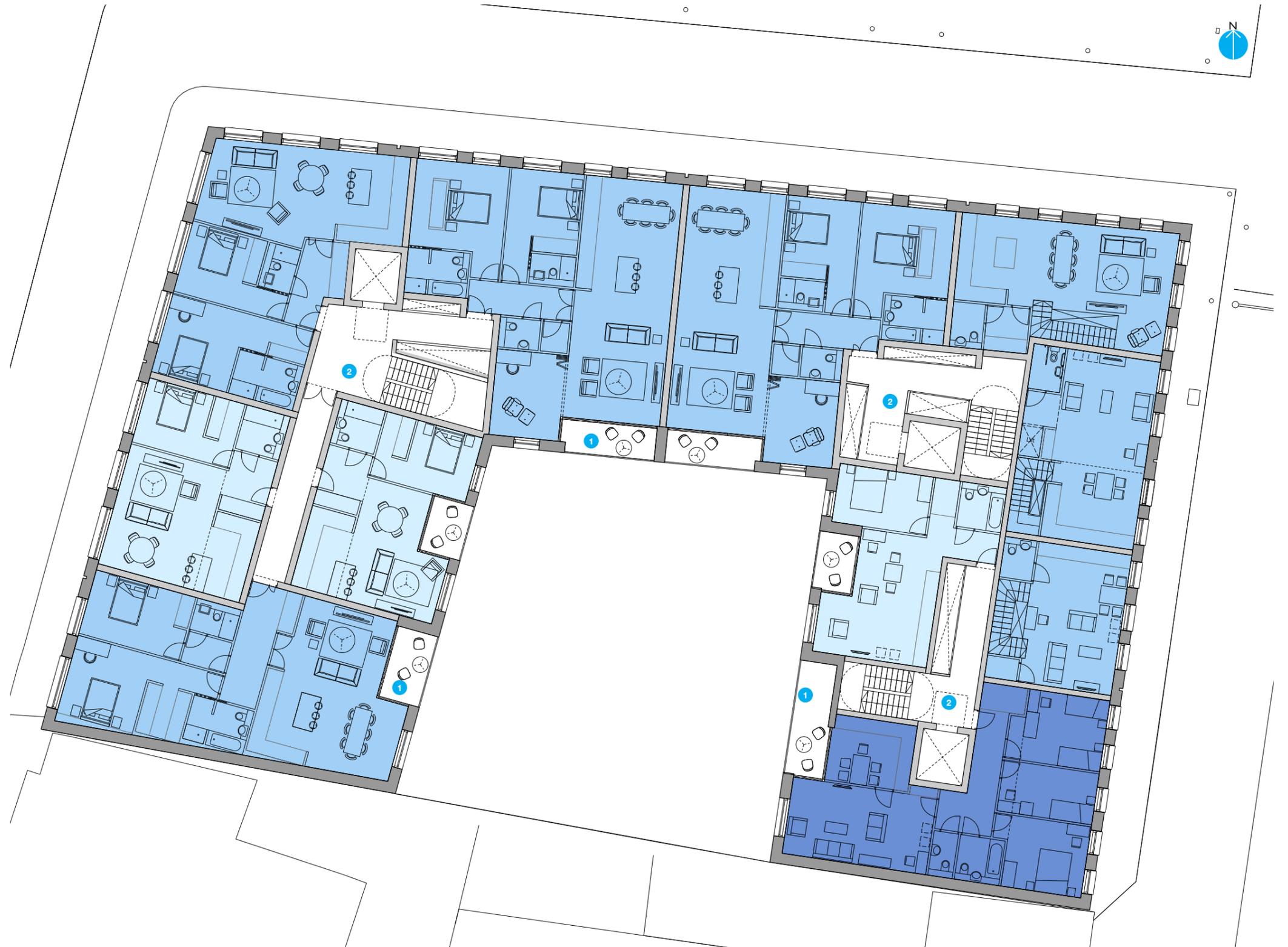
11.0 Plot S3

First Floor Plan

At first floor there are a range of residential typologies with a mix of three single aspect one-bedroom apartments and a range of dual aspect one, two and three bed flats some of which are arranged as duplex units from Ground Floor level. Units that face into the courtyard have inboard balconies that give privacy from neighbours. Bedrooms and Study rooms are arranged around the corners to minimise overlooking between units.

The introduction of balconies to the street elevations would be out of keeping with the character of the Elder Street Conservation Area and as a result some of the units have not been designed to provide private external amenity. Where this is the case the apartments have been designed so that they are enlarged by at least the area of amenity recommended in the London Housing Design Guide. In addition to this all units have access to the shared residents' courtyard.

Daylighting to all units has been maximised through the use of inboard balconies that reduce overshadowing of units below and generously sized windows.

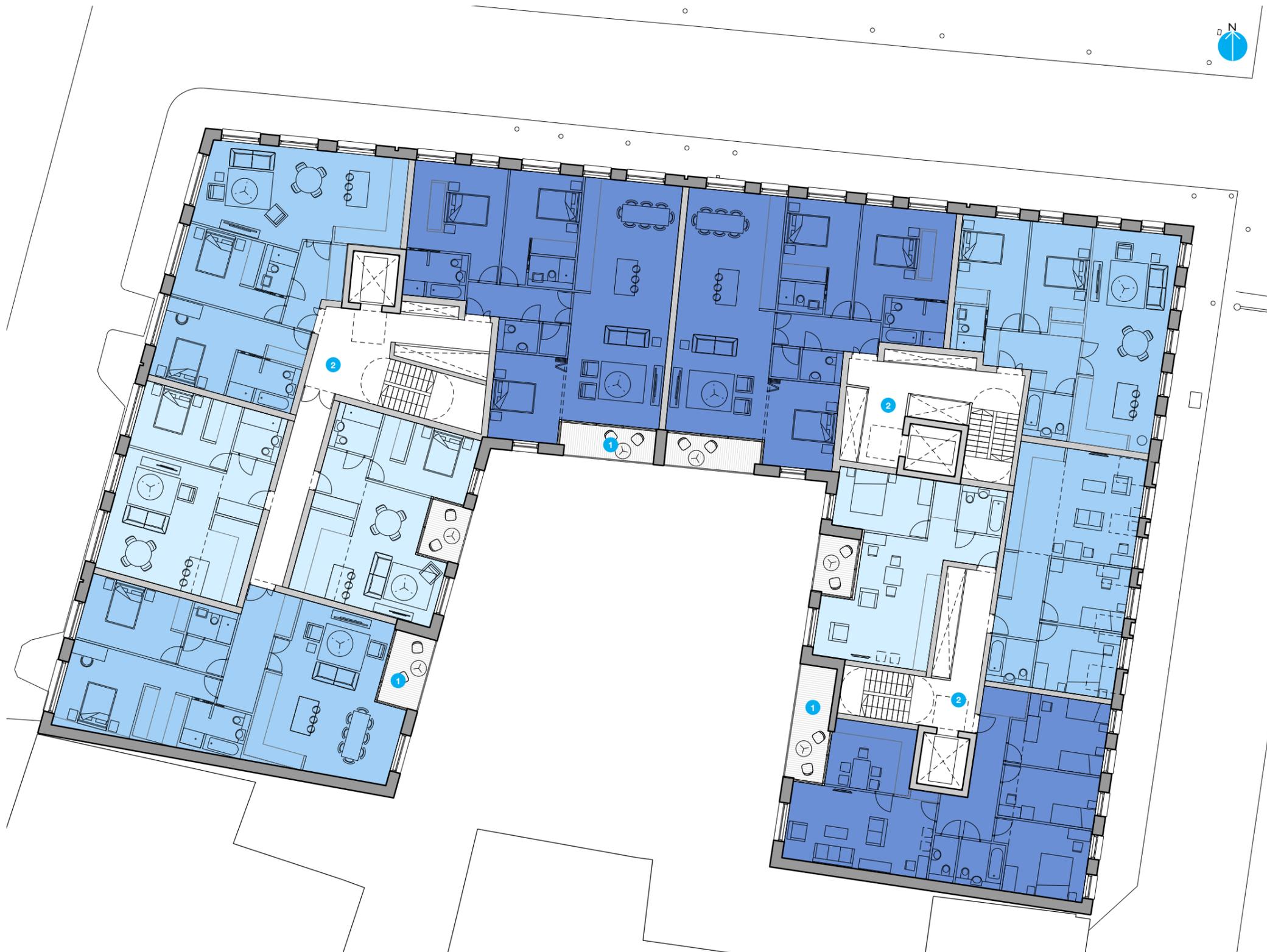




Second and Third Floor Plan

At second and third floor there are a range of apartment typologies with a mix of single aspect one and two bed apartments and dual aspect two and three bedroom apartments.

As at first floor all units facing the courtyard have inboard balconies and where this is not appropriate to the street facades, units have been enlarged by at least the area of private residential amenity recommended in the London Housing Design Guide.



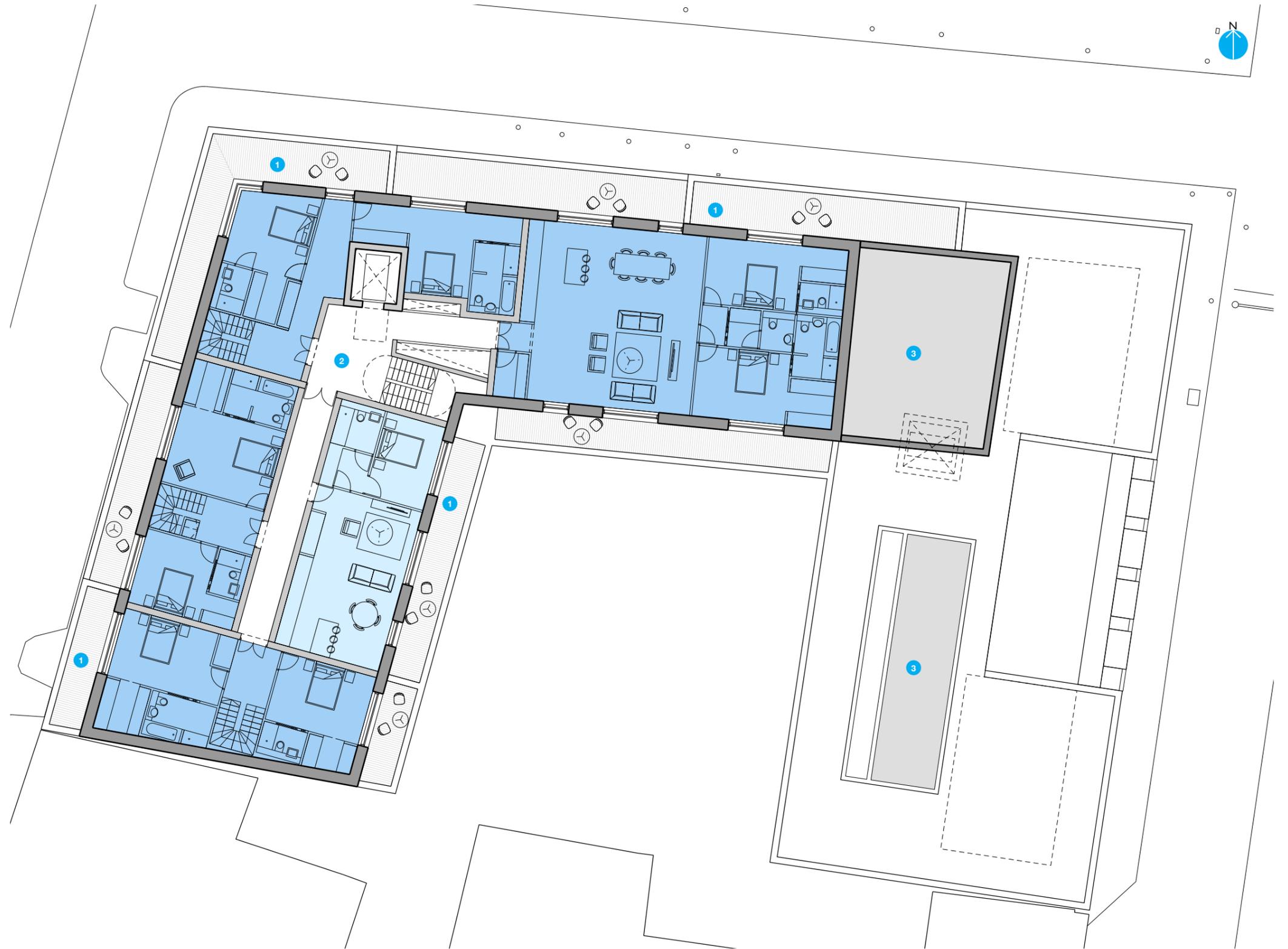
- Inboard balcony 1
- Stair and lift core 2

11.0 Plot S3

Fourth Floor Plan

The mass of the building steps back at fourth floor creating linear terraces facing the Street and courtyard. At fourth floor there is a single aspect one bed unit facing East, a dual aspect two bed unit facing North and South and three duplex units that have large bedrooms at entry level with a stair up to a generous living room at fifth floor.

Roof plant is accommodated at fourth floor and set-back from the facades below on the East side of the building.



- Private residential terrace 1
- Stair and lift core 2
- Roof plant 3



Fifth Floor Plan

At fifth floor are the upper floors of the three duplex units which each have a private terrace and a dual aspect Living/ Kitchen/Diner. Roof lights over the centre of the plan create light filled spaces.



Private residential terrace 1

11.0 Plot S3

Typical Unit Layouts

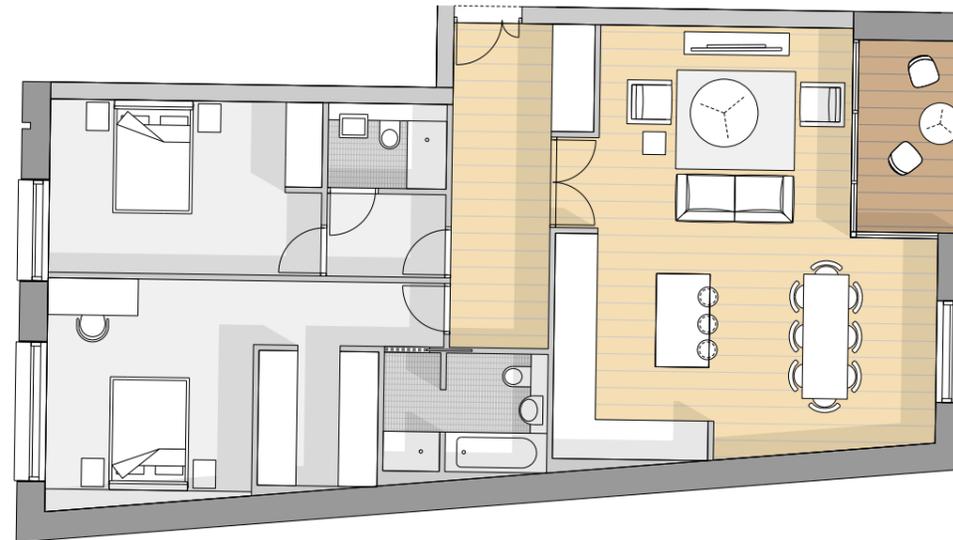
Plot S3 hosts a variety of residential typologies spread across the three cores and responding to the various opportunities and constraints offered by each area of the development.

The plot constraints have led to a design approach that favours large dual aspect apartments with 65% of units enjoying views in more than one direction. The single aspect units are limited to the smaller one and two bed apartments.

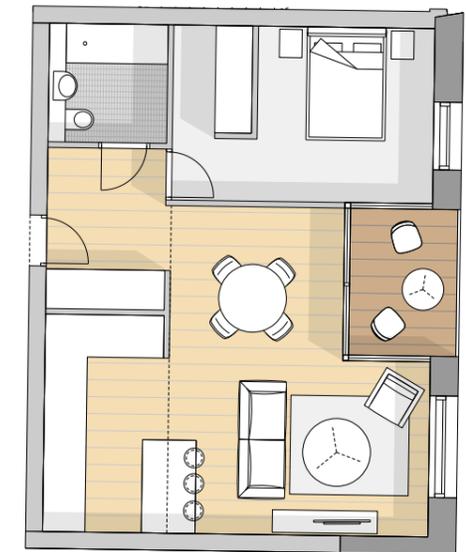
There is also a mix of duplex and single level flats responding to the challenges of privacy and overlooking in this urban environment. Duplex units have been utilised at ground floor to create privacy from the street frontage to living rooms and at upper levels to maximise views and daylight.

The apartments are designed to allow for a variety of apartment types with differing characteristics and sizes. The interiors will be designed to reflect this using robust materials to enhance the concept of a contemporary Shoreditch loft.

The plans to the right show a selection of some of the proposed apartment types.



Unit 101/201/301
2 Bed dual aspect unit - 110m²
Private balcony - 6m²



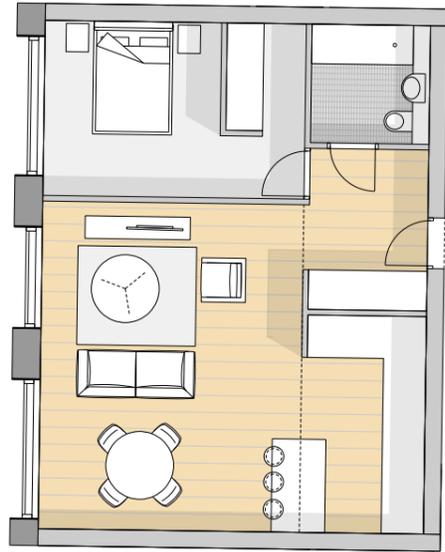
Unit 103/203/303
1 Bed unit - 57m²
Private balcony - 5m²



Illustrative internal view



Latitude House Camden - AHMM



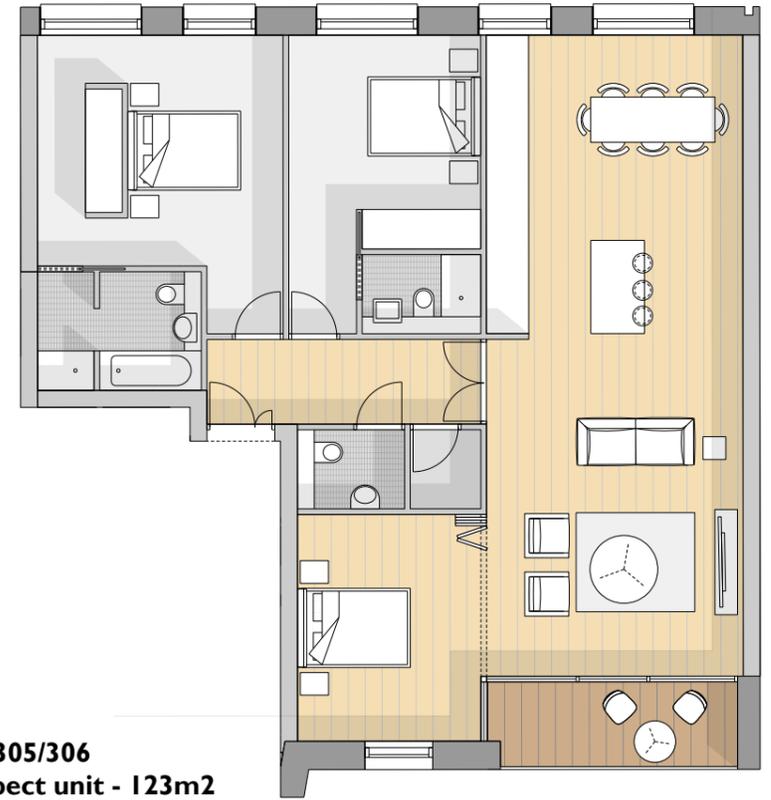
Unit 102/202/303
1 Bed unit - 61m2



Unit 104/204/304
2 Bed dual aspect unit - 93m2



Unit 205/206/305/306
3 Bed dual aspect unit - 123m2
Private balcony - 7m2



Illustrative internal view

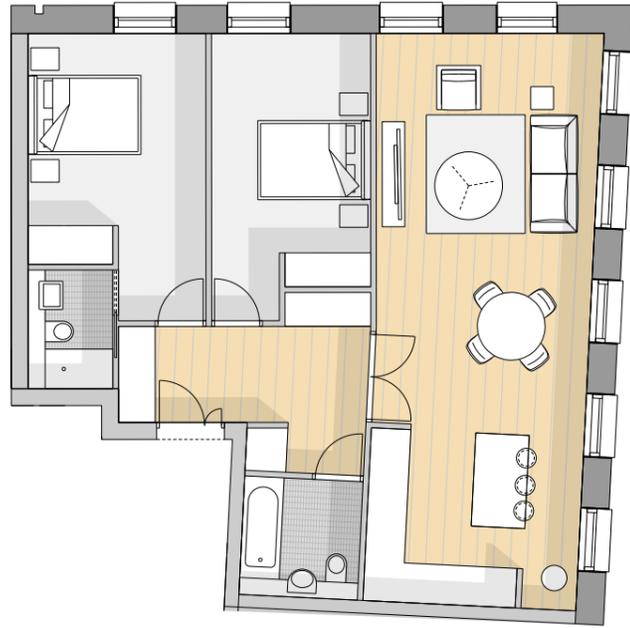


Illustrative internal view showing sliding door to 3rd bedroom

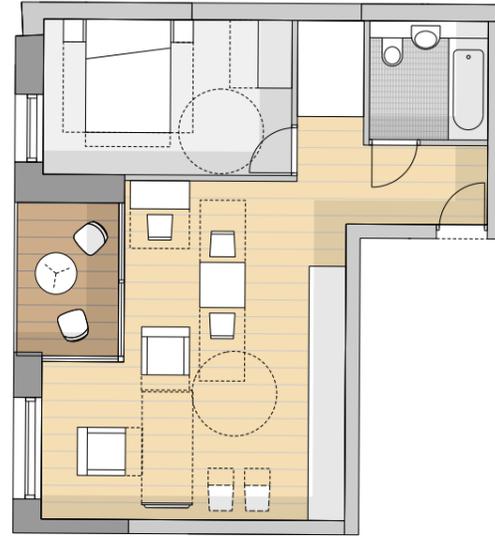


North London Hospice - AHMM

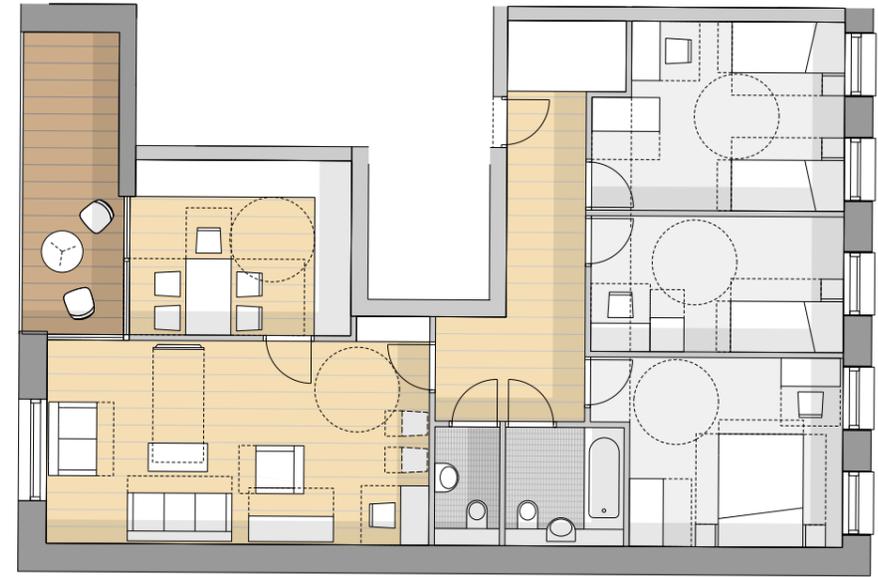
11.0 Plot S3



Unit 207/307
2 Bed dual aspect unit - 87m2



Unit 107/208/308
1 Bed unit - 51m2
Private balcony - 5m2



Unit 108/210/310
3 Bed unit - 99m2
Private balcony - 9m2



Sweeps - AHMM



Leonard Street London - AHMM



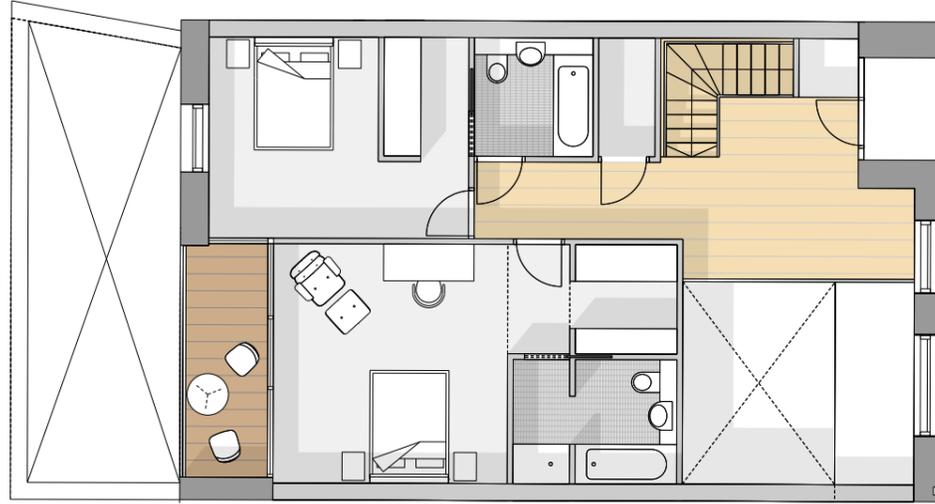
Latitude House Camden - AHMM



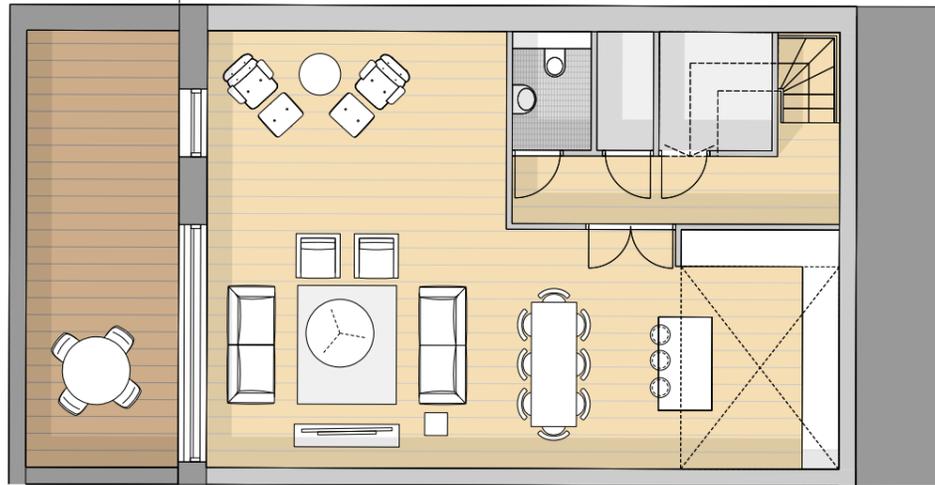
Hoxton House - Mikhail Riches



Ground floor

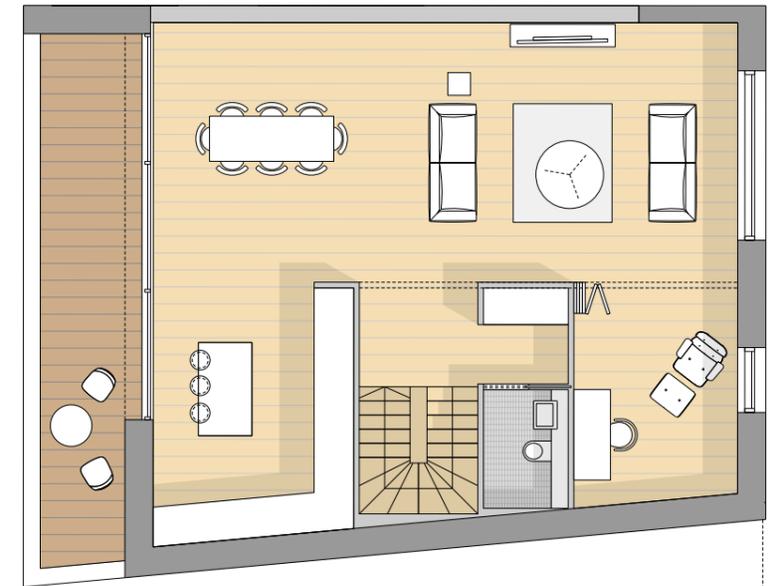


Lower ground floor

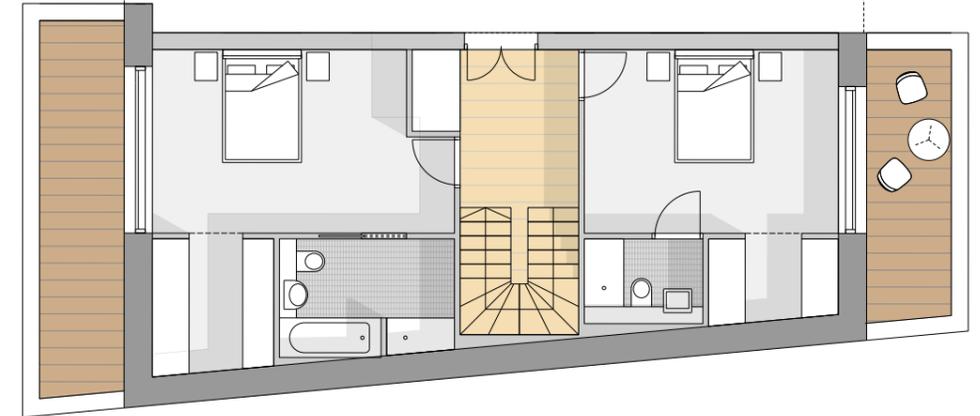


Unit 002
2 Bed Duplex unit - 158m²
Private Balcony - 6m² Private terrace - 20m²

Fifth floor



Fourth floor



Unit 401
2 Bed duplex unit - 154m²
Private terrace - 33m²



11.0 Plot S3

11.4.4 Scale/Appearance

Massing

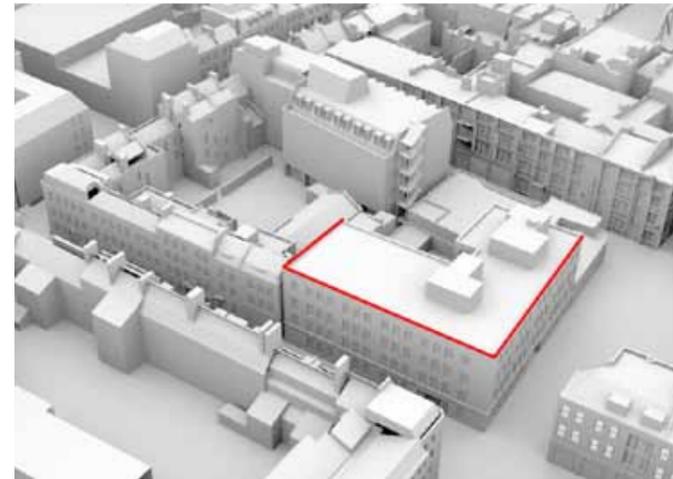
The massing for Plot S3 is designed to respond to the existing buildings on the Site and the extant planning consent. On the East side of the building facing Elder Street the parapet level matches that of the existing building at the South and North ends of the building. In the centre the parapet will be dropped to create a mansard roof with dormer windows to break up the mass of the building and respond to the varied building heights on Elder Street.

On the West side of the building the existing planning consent for the depot Site allows a four storey building with set-back top floors. The proposal follows this strategy with a four storey datum continued from Elder Street to Blossom Street with varying parapet heights to create the impression of a series of buildings. On the West side of the Site two storeys of set-back floors are proposed. This two storey element will be lightweight in appearance and sculpted to create a series of private terraces for the residential terraces within.

To the rear of the building a South facing courtyard will provide shared private amenity space for residents and a visual amenity for the residential units that face onto it.



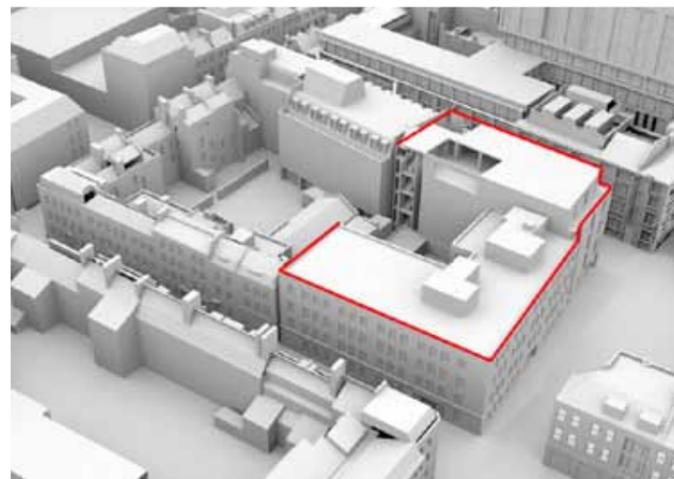
1. Existing Site massing



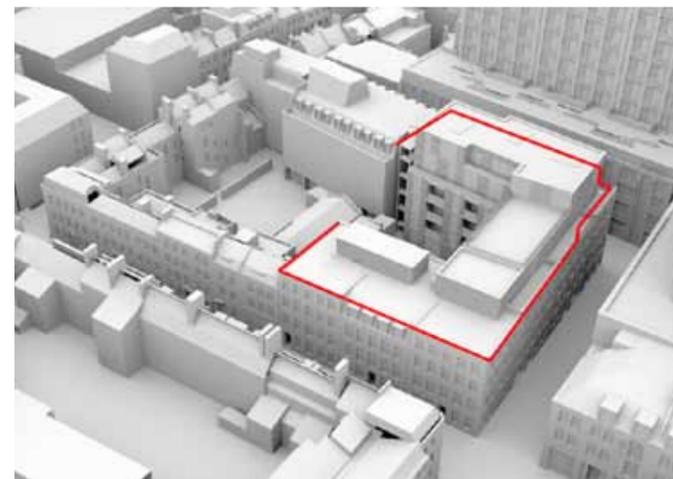
2. Parapet line to Loom Court



3. Consented Scheme massing to Depot Site



4. Parapet line to Consented Scheme



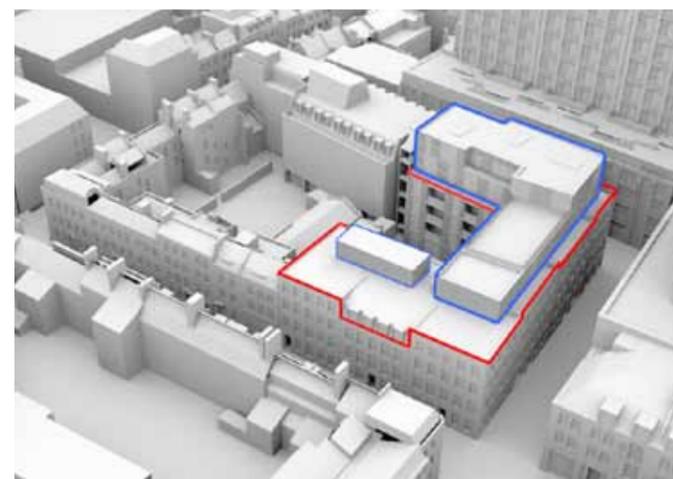
5. Proposed massing



6. Drop parapet to central bay on Elder Street



7. Vary parapet to all buildings on proposed Site



8. Set-back top floors



9. Proposed massing



Materials

The Elder Street Conservation Area is made up of brick buildings of varying ages and styles. In response to this the outer elevations of the proposed building will be predominantly clad in brick.

Elder Street is a residential street of early Georgian town houses. The design for Plot S3 responds to this using a varied palette of brick to the street facing elevations with brick detailing on Elder Street to relate to the decoration found on the existing houses. Quoining and flat arch lintels related to that found on the existing houses is proposed on Elder Street.

On Fleur De Lis and Blossom Street more vertical emphasis is given to the elevations by recessing brickwork above and below windows.

Sash windows in white and greys will be used on the Elder Street side of the proposal with a mix of Crittal type windows and simple vertically orientated windows on Fleur De Lis and Blossom Street as the building responds to the existing warehouses to the West.

Reconstituted stone copings and sills are proposed to contrast with the brickwork and replicate the large sills found on the Elder Street houses and the Victorian warehouses.

Timber cladding is proposed to the internal courtyard with simple floor to ceiling windows and horizontal expression to the floor slabs.

The set-back floors will continue the timber from the courtyard but will be stained to a dark brown/black. This will help to differentiate the set-back floors from the brickwork below while minimising the attention drawn to them from the streets below.



Brickwork English/Flemish Bond



Brickwork Quoining around window openings



Recessed joint between buildings



Sash windows and expressed reconstituted stone sills



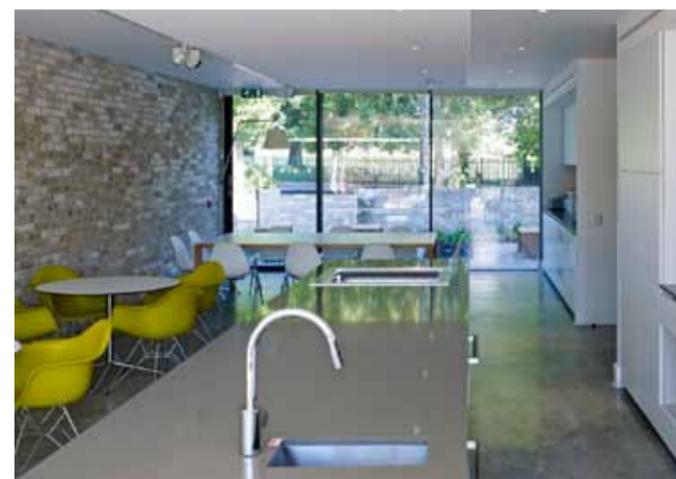
Flat arch lintels to windows on Elder Street



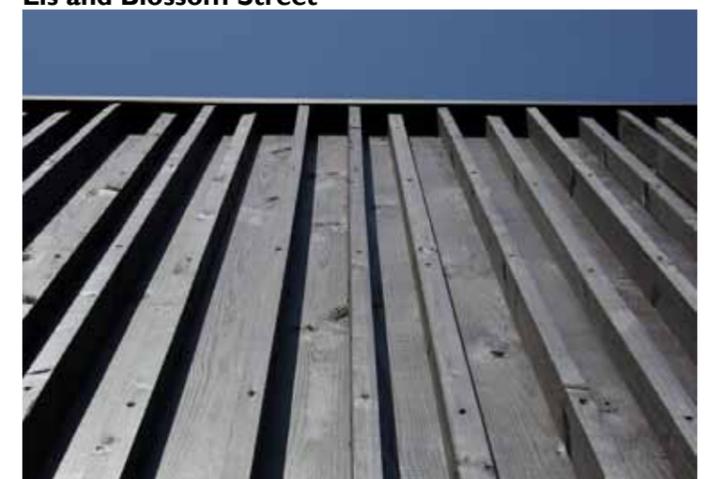
Crittal type windows to some buildings on Fleur De Lis and Blossom Street



Timber cladding to courtyard



Use of brick internally



Stained timber cladding to top floors

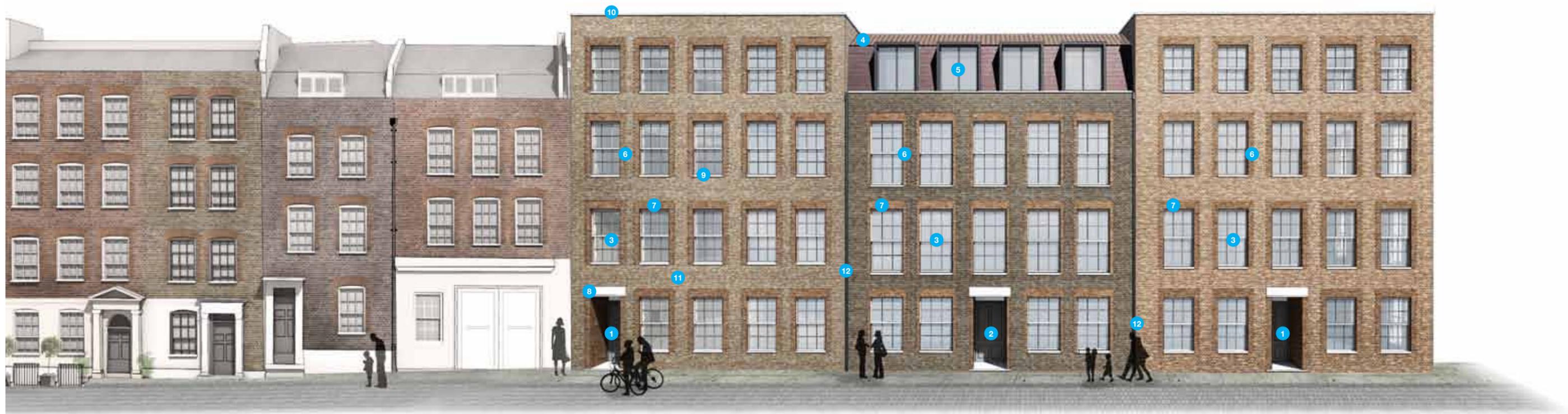
11.0 Plot S3

This view is taken on Elder Street looking North towards Commercial Street. In the foreground on both sides of the street are the existing houses on Elder Street. The proposal for S3 can be seen on the corner of Elder Street and Fleur De Lis Street with the residential entrances facing onto the street visible at ground floor level.

The Elder Street warehouses, part of Plot S2, can be seen beyond.



View looking North up Elder Street



- 1 Front door to residential unit
- 2 Entrance to stair and lift core
- 3 Sash windows
- 4 Mansard Roof
- 5 Dormer windows
- 6 Quoining around windows
- 7 Flat arch brick lintel
- 8 Reconstituted stone lintel
- 9 Reconstituted stone sill
- 10 Reconstituted stone coping
- 11 Brickwork
- 12 Rainwater downpipe

Elder Street elevation

11.0 Plot S3

This view is taken looking West along Fleur De Lis Street and shows the corner of Elder Street in the foreground. The residential entrances to S3 are visible on the North facing elevation and there is a glimpse of the set-back top floors visible above the parapet at the West end of the block.

On the right of the image are the Elder Street warehouses, part of Plot S2, and in the distance the Blossom Street warehouses and the rear of Plot S1 can be seen.



View looking West on Fleur De Lis Street



- | | | | |
|-----------------------------------|------------------------------|----------------------------|---------------------------|
| 1 Front door to residential unit | 5 Flat arch brick lintel | 9 Metalwork balustrade | 9 Glazed balustrade |
| 2 Entrance to stair and lift core | 6 Reconstituted stone lintel | 10 Metal window system | 10 Brickwork |
| 3 Sash windows | 7 Reconstituted stone sill | 11 Car park entrance | 11 Recessed brickwork |
| 4 Quoining around Windows | 8 Reconstituted stone coping | 12 Stained timber cladding | 12 Glazing to retail unit |

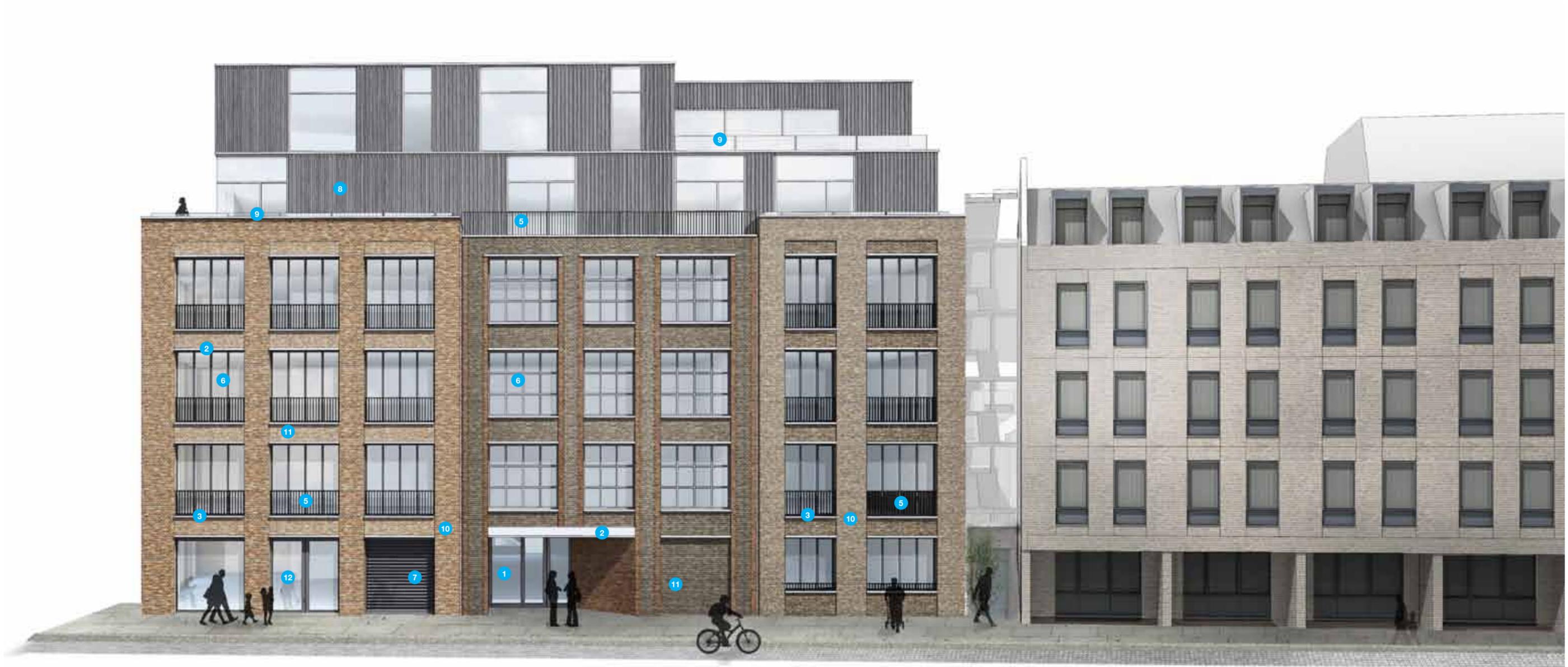
Fleur De Lis Street elevation

11.0 Plot S3

This view is taken looking North up Blossom Street. The Blossom Street warehouses can be seen on the left of the image with the existing hotel building in the foreground on the right. The proposed elevation to S3 on Blossom Street can be seen on the right beyond the hotel with Plot S2 visible at the end of Blossom Street in the distance.



View looking North up Blossom Street



- | | | |
|-----------------------------------|---------------------------|---------------------------|
| 1 Entrance to stair and lift core | 5 Metalwork balustrade | 9 Glazed balustrade |
| 2 Reconstituted stone lintel | 6 Metal window system | 10 Brickwork |
| 3 Reconstituted stone sill | 7 Metal louvre | 11 Recessed brickwork |
| 4 Reconstituted stone coping | 8 Stained timber cladding | 12 Glazing to retail unit |

Blossom Street elevations

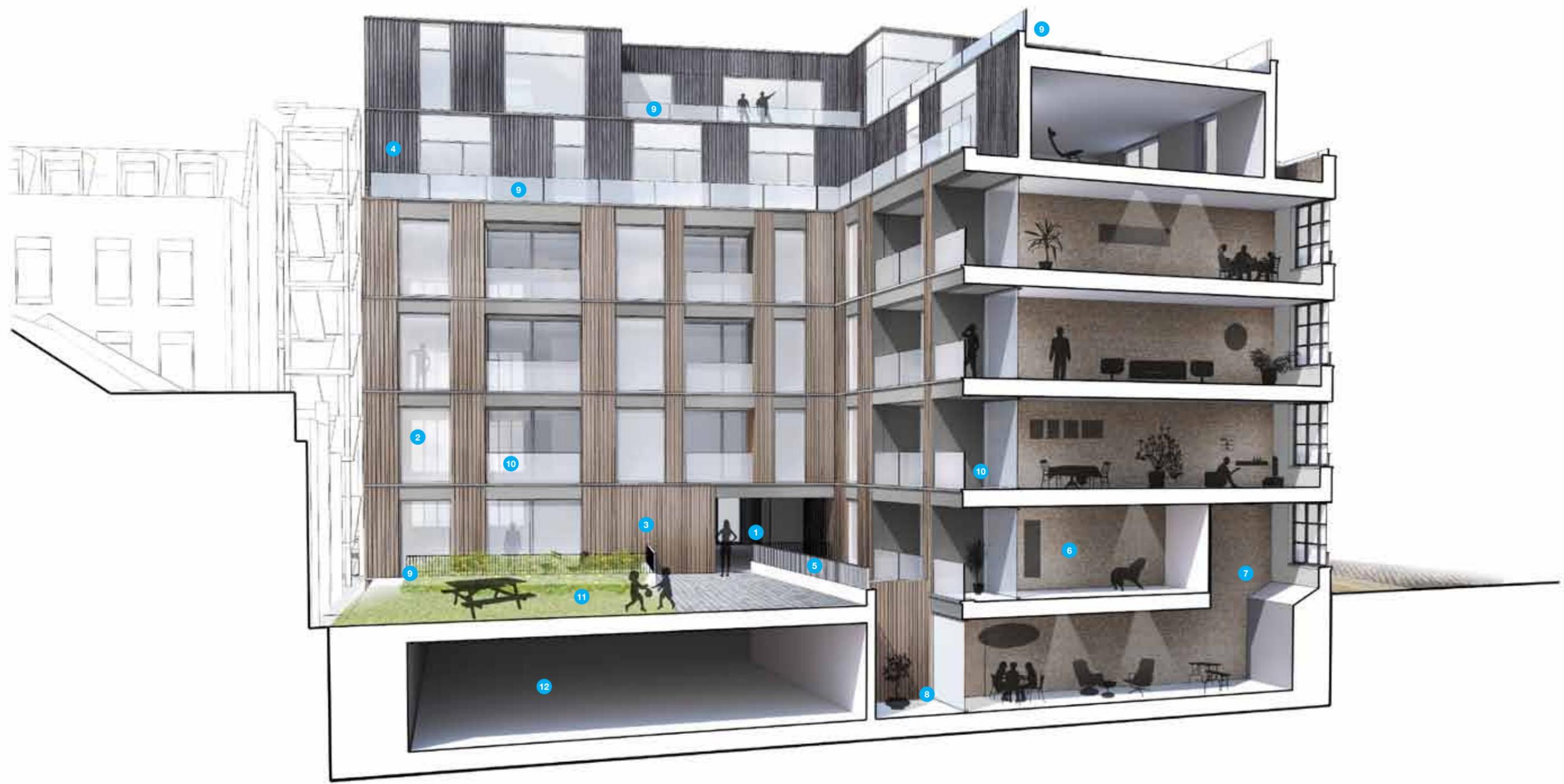
11.0 Plot S3

This view is taken from an elevated position with the residential courtyard at the centre of the S3 Plot. The proposal makes provision for inboard balconies to all units that face into the courtyard with timber cladding used to give a human scale and soften the appearance.

The set-back fourth and fifth floors can be seen at the top of the image clad in a darker stained timber.



View looking North from within the residential courtyard



- 1 Entrance to stair and lift core
- 2 Metal window system
- 3 Timber cladding
- 4 Stained timber cladding
- 5 Metalwork balustrade
- 6 Internal brickwork
- 7 Double height space
- 8 Private sunken terrace
- 9 Private terrace
- 10 Private balcony
- 11 Shared residential amenity
- 12 Bikes, plant and car parking

Sectional perspective through the courtyard looking West

11.0 Plot S3

11.5 Inclusive Design

Please refer to Section 6.0 for more information about access and inclusive design.

11.6 Landscape

The following landscape and public realm proposals relate to S3 plot (for further details please refer to chapter 5.0 'Landscape and public realm' included within this report):

Access:

Public realm proposals have all been developed to improve access:

- The proposals tie in with the wider route network;
- The Western pavement of Blossom Street is proposed widened;
- The width of the footway on Norton Folgate is proposed increased while improving the loading bay and providing disabled parking;
- All paving to footways is proposed to be smooth, including where setts are used;
- Unused bays and vehicular crossovers are proposed removed;
- Unnecessary street furniture is proposed removed to reduce clutter.

It is proposed to change vehicular access to one-way operation on Fleur De Lis Street (entrance) and Blossom Street (exit). While reflecting the prevailing movement patterns this will enable traffic calming, the introduction of cycle parking in the carriage way and footway widening.

Blossom Street, Fleur De Lis Street and Elder Street:

At Blossom Street, Fleur De Lis Street and the Fleur De Lis Passage it is proposed to build upon the existing intimate and richly textured character of the streets, building on their industrial heritage and improving them as an attractive and unique pedestrian environment to support the proposed commercial and residential uses in the area.

The proposals for Blossom Street, Fleur De Lis Street, and the Fleur De Lis Street Passage include:

- Retained and repaired carriageway setts;
- Widened Western footway to Blossom Street with retained setts complemented by reclaimed setts laid to create a smooth accessible footway;
- York stone flags elsewhere; within the alley it is proposed to carefully relay the existing flags;
- Granite kerbs replaced with reclaimed kerbs as needed to adjust footway width, crossovers and bays;
- New granite quadrants at the Southern end of Blossom Street with inset reused bollards;
- Cycle parking on Fleur De Lis Street protected by kerb height granite pieces with inset reused bollards;
- Building mounted highway lighting is proposed where feasible, with existing historic luminaires repaired or matched.

On Elder Street pavements associated with the Blossom Street project are proposed relaid with York stone; reused as far as possible.

The S3 garden will be a private shared garden space for the future residents of the S3 block. The garden will provide a key amenity space for both private and affordable housing occupants. Proposals for the S3 garden include:

- Play provision;
- Grass and shrub planting.



